



**City of McCall
City Council**

**AGENDA
Regular Meeting
November 30, 2023, at 5:30 PM
Legion Hall – Below City Hall
216 East Park Street
McCall, ID
AND MS TEAMS Virtual**

ANNOUNCEMENT:

American with Disabilities Act Notice: The City Council Meeting room is accessible to persons with disabilities. If you need assistance, please contact City Hall at 634-7142 at least 48 hours prior to the meeting. Council Meetings are available for in person and virtual attendance. Any member of the public can join and listen only to the meeting at 5:30 pm by calling in as follows:

Dial 208-634-8900 when asked for the Conference ID enter: 485 811 14#

Or you may watch live by clicking this link:

<https://youtube.com/live/vjw70F6ErGo?feature=share>

OPEN SESSION

PLEDGE OF ALLEGIANCE

APPROVE THE AGENDA

CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall City Council for reading and study. Items listed are considered routine by the Council and will be enacted with one motion unless a Council Member specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

1. City Council Special Meeting Minutes – July 21, 2023 (ACTION ITEM)
2. City Council Regular Meeting Minutes – September 14, 2023 (ACTION ITEM)
3. City Council Regular Meeting Minutes – October 12, 2023 (ACTION ITEM)
4. City Council Regular Meeting Minutes – October 26, 2023 (ACTION ITEM)
5. City Council Regular Meeting Minutes – November 09, 2023 (ACTION ITEM)
6. Payroll Report for the period ending November 10, 2023 (ACTION ITEM)
7. Warrant Register – GL (ACTION ITEM)
8. Warrant Register – Vendor (ACTION ITEM)
9. AB 23-220 City Licenses Report to Council Per McCall City Code (ACTION ITEM)
10. AB 23-229 Treasurer’s Report as Required by IC 50-208 (ACTION ITEM)
11. AB 23-221 Request Approval of Hangar 101 Lease Agreement for Commercial Airport Tenant - Base Camp Aviation, LLC (ACTION ITEM)
12. AB 23-222 Request Approval of the Recreation Dept. Office Space Lease Agreement Extension with Treasure Valley Transit (ACTION ITEM)

GENERAL PUBLIC COMMENT

HOW TO SUBMIT COMMENTS

On the City's website at <https://www.mccall.id.us/packets> you may leave a public comment or signup to make a comment live online or to call-in prior to 3:00 pm the day of the meeting. Once we receive your request to make public comment online, a link will be sent to you with instructions. The public are welcome to attend the meeting in person. All comments are limited to 3 minutes.

PUBLIC HEARING

AB 23-223 Request to Direct staff to prepare Findings and Conclusions for CUP-23-02
– 507 1ST Street Short-Term Rental for James Bode (ACTION ITEM)

PUBLIC HEARING COMMENT – HOW TO SUBMIT COMMENTS

On the City's website at <https://www.mccall.id.us/packets> you may leave a public comment or signup to make a comment live online or to call-in prior to 3:00 pm the day of the meeting. Be sure to leave your comment under the relevant Public Hearing topic. Once your request is received to make public comment online, a link will be sent to you with instructions. The public are welcome to attend the meeting in person. All comments are limited to 3 minutes.

BUSINESS AGENDA

AB 23-227 Request to reject all bids for the Downtown Core Reconstruction: 1st Street
- Phase 3B Surface Improvements (ACTION ITEM)

AB 23-224 Request to approve Idaho Women's Charitable Foundation grant application
for construction of the Library Art Gallery (ACTION ITEM)

AB 23-225 Request to approve submittal of a Children Pedestrian Safety Grant
application for Davis Ave Phase 2 pedestrian improvements (ACTION ITEM)

AB 23-226 Request the Appointment of Nick Zello to the Post Annexation JWAG
Committee (ACTION ITEM)

AB 23-228 Review of Tourism Local Option Tax (LOT) project award process and direction
to staff (ACTION ITEM)

Upcoming Meeting Schedule Discussion and Direction (ACTION ITEM)

EXECUTIVE SESSION (ACTION ITEM)

- **Personnel** - (b) To consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public school student;
- **Records** - Pursuant to Idaho Code §74-206 (1) (d) To consider records that are exempt from disclosure as provided in chapter 1, title 74, Idaho Code

OPEN SESSION

ADJOURN

MINUTES

**McCall City Council
Special Meeting
McCall City Hall -- Legion Hall
VIA TEAMS Virtual
July 21, 2023**

Call to Order and Roll Call
Work Session
Adjournment

CALL TO ORDER AND ROLL CALL

Mayor Giles called the McCall City Council Special meeting to order at 9:02 a.m. Mayor Giles, Council Member Maciaszek, Council Member Nelson, Council Member Nielsen, and Council Member Thrower all answered roll call.

City staff members present were Anette Spickard, City Manager; Sarah Porter, Deputy Clerk; Erin Greaves, Communications Manager; Linda Stokes, City Treasurer; Michelle Groenevelt, Community Development Director; Brian Parker, City Planner; Kurt Wolf, Parks and Recreation Director; Eric McCormick, Golf Course Superintendent; Meg Lojek, Library Director; Chris Curtin, Information Systems Manager; Traci Malvich, Human Resources Manager; Dallas Palmer, Police Chief; Nathan Stewart, Public Works Director; Sean Reilly, Network Administrator; Meredith Todd, Assistant City Planner; Emily Hart, Airport Manager; Amanda Payne, Local Option Tax & Short-Term Rental Compliance Administrator

Also, in attendance were Nate Wiesenberger, AE2S Inc; Keith Larson and Greg Loscher, Bowin Collins.

WORK SESSION

BUDGET PUBLIC COMMENT

No comments received.

BUDGET WORK SESSION

FY24 Budget Development Introduction

City Treasurer Linda Stokes gave an overview of the budget development process already completed and next steps.

Library Expansion Project Discussion

Treasurer Stokes reviewed funding options already approved for the Library expansion from FY23 budget and possible funding options in the FY24 budget. Public Works Director Nathan Stewart gave an update on the construction of the Library project to date. Council Member Nielsen asked

if the McCall Redevelopment Agency (MRA) could be a potential funding source for the sidewalks at the Library. Treasurer Stokes noted that MRA does have a funding balance but there is already a plan to spend the money. If the MRA board wants to participate in funding the Library Expansion Project, the board can choose to do so. Council Member Maciaszek expressed that it is not a terrible idea to get funding from MRA and Council Member Nielsen noted that the project falls within the scope of the new urban renewal district. Community and Economic Development Director Groenevelt stated that typically MRA has done projects to do the planning and development of a project but the funding in the Library project would go right to the construction of the project. The City Council directed staff to look at funding the parking and sidewalks for the Library with MRA funds.

Local Option Tax (LOT)

Mayor Giles noted wanting to move the housing items up on the priority list to show the public that the City Council is serious about funding the Housing Action Plan. Community and Economic Development Director Michelle Groenevelt presented to the City Council a report on funding sources for the Housing Action Plan. Highlights included funding a Housing Coordinator position through the general fund instead of with LOT dollars and rolling the LOT fund requests into one item for local housing implementation instead of separating specific housing categories. Mayor Giles asked about the \$20,000 funding request from the West Central Mountains Economic Development Council (WCMEDC) to conduct planning for a Regional Housing Needs Assessment. Director Groenevelt noted sitting on a subcommittee for WCMEDC on local housing and additionally reviewed that the City of McCall conducted a McCall Area Housing Needs Assessment in 2018. Mayor Giles expressed the desire to provide technical assistance to the WCMEDC instead of granting the funding request for \$20,000. Council Member Nelson asked Director Groenevelt if the applications for funding local housing through LOT need to be maintained as accepted by the LOT Commission or if the City Council can proceed as suggested by staff and combine the funding requests into a single local housing implementation fund. Director Groenevelt noted that the City Council could fund the request under local housing implementation instead of the separate application requests for deed restrictions and creation of the Housing Authority. Director Groenevelt additionally reviewed the deed restriction program and the need for continued funding of the program. Police Chief Dallas Palmer reviewed the options outlined in the packet that were previously requested by the City Council. The City Council will act on LOT funding decisions at the end of the meeting.

Council recessed at 9:58 AM and reconvened at 10:05 AM

Draft Streets Capital Improvement Plan (CIP)

Public Works Director Nathan Stewart presented to City Council reviewing changes to the bid process, design and cost estimates, streets maintenance projects, and streets local option tax renewal. Council Member Nielsen asked about Boydstun (the bypass) and 3rd Street in relation to working with the Idaho Department of Transportation to trade. Director Stewart noted that it is the City's responsibility to maintain the bypass and is in the City's best interest if 3rd Street is treated similarly. The investment being put into the Boydstun/Deinhard roadway is simply maintenance and not an expansion of capacity. Additionally, Director Stewart noted that the relationship between the City and ITD District 3 has been a great working relationship. It is in the ITD budget to repave 3rd street, but the City has requested ITD hold the project for another year because there

are utility and sidewalk infrastructure that needs to go in during the project as it would be a waste to pave the road only for it to be torn up again. Director Stewart also noted funding opportunities including grants for streets and wastewater systems. The City Council additionally discussed local option tax for streets and the upcoming renewal of the local option tax. Director Stewart reviewed the public works facilities and the future improvements needed at the public works facility.

Council recessed at 11:05am and resumed at 11:17 am

Draft Water Capital Improvement Plan (CIP)

Public Works Director Nathan Stewart presented to the City Council along with consultants Nate Weisenburger with AE2S, Keith Larson and Greg Loscher with Bowen Collins. Director Stewart reviewed water projects currently underway as well as future planned projects including water facility improvements. Mr. Weisenburger reviewed the water treatment plant processes, demand on the water system, and future expansion of the water treatment plant. Mayor Giles thanked Mr. Weisenburger for the thorough presentation and asked if the City could use less chlorine by switching to an alternative membrane system. Mr. Weisenburger affirmed that use of less chlorine is a benefit of using the membrane system while still meeting Department of Environmental Quality standards. Director Stewart also reviewed the pros and cons of implementing a membrane system.

Mr. Larson presented to the City Council on the options to fund water facility improvements including a 12-million-dollar bond in the spring of 2024. Mayor Giles asked if the bonding structure is the same as for the Library project. Treasurer Stokes noted that the bonding process is similar, but the voter approval component is different. The bond would be a revenue bond and would be paid back by the user fees. The City Council also discussed the voter education needed if the City Council decides to bond.

Council recessed at 12:16 PM and resumed at 12:40 PM

Remaining Draft Capital Improvement Plan (CIP)

Treasurer Stokes presented to City Council reviewing the remaining draft CIP including Airport, Golf, Parks and Recreation, Community and Economic Development, and the Police Department. Mayor Giles noted that most of the airport projects are funded with federal grants. Treasurer Stokes explained that the Airport Manager has lined up Airport CIPs with federal and state grant funding opportunities. Mayor Giles asked for a briefing on admin CIPs. Treasurer Stokes noted that the campus improvements in FY25 are under admin and the plan is to pave the parking lot behind City Hall. Airport Manager Emily Hart addressed the City Council reviewing the next three years of projects planned for the McCall Municipal Airport. Treasurer Stokes reviewed the Golf capital projects noting there are not many changes from FY23 besides adding a golf simulator to the Pro Shop. Additionally, Information Systems has not requested any CIP funding for FY24. Police Chief Dallas Palmer reviewed vehicle needs for the Police Department. Parks and Recreation Director Kurt Wolf addressed the City Council noting that the main project in FY24 is a rollover from FY23 to pave pathways.

Draft FY24 Operation & Maintenance (O&M) budget worksheet

Treasurer Stokes & Human Resources Manager Traci Malvich gave an overview of the operation and maintenance budget draft.

City Council Deliberation

Mayor Giles brought up the LOT discussion again. Chief Palmer reviewed the different LOT funding scenarios provided by staff at the direction of the City Council. Mayor Giles noted being reluctant to change the recommendations made by the LOT Commission. Mayor Giles stated that the LOT Commission has done their job with the current direction given to the Commission by the City Council and if that needs to change in the future the City Council needs to provide additional guidance to the LOT Commission. Council Member Nielsen agreed with Mayor Giles and brought up concern over the Library project funding. Treasurer Stokes reminded the City Council that the project is funded through FY24, and FY25 is where there may be a shortfall. Council Member Maciaszek expressed the possibility of the McCall Redevelopment Agency (MRA) providing funds to help with the shortfall since the Library is in the new district. Treasurer Stokes noted that if the items funded by the MRA are in line with the downtown west MRA plan the MRA could provide funding to the Library project if the agency chooses to. Council Member Nielsen suggested moving the Library project out of contingent and not funding the request. Library Director Meg Lojek addressed the City Council to clarify that the new construction building will be ready to move into by May of 2024. Additionally, the items that would be funded by the LOT request for the Library were not included in the original bid for the project and instead were listed as owner responsibility. Council Member Nelson expressed wanting to make the Library whole in FY25 LOT instead of the contingent funding for FY24. Treasurer Stokes additionally reviewed the Library project costs that have not been allocated yet. Public Works Director Nathan Stewart reviewed the contingency funding in the project plans and confirmed that there will be additional opportunities to find funding for any short falls in the project. Local Option Tax Admin Amanda Payne suggested the City Council keep the Library project on the contingency list but move it down in the priority list. The City Council agreed to keep the Library project request as is.

The City Council discussed the housing fund requests. Director Groenevelt noted that the staff suggests combining the two funding requests for local housing from Community and Economic Development and calling it local housing implementation. The total for this request would be \$225,023.00. Mayor Giles suggested moving the West Central Mountains Economic Development Council request for a regional housing needs assessment to the not recommended for funding section. Council Member Nelson disagreed and expressed the importance of supporting the overall needs of housing in the community. Council Member Nielsen, Council Member Thrower, and Council Member Maciaszek agreed with Council Member Nelson. Council Member Nielsen expressed concern regarding merging two requests into one for local housing. The LOT Commission deliberates specific requests, and the Council is considering combining two specific requests into one nonspecific request for local housing implementation. Council Member Thrower noted that all items to be funded by the local housing implementation would come before the City Council for approval. Director Groenevelt noted that the City Council can put all the funding into the deed restriction request instead of the City Council is more comfortable going that direction.

Council Member Nielsen moved to approve the FY24 LOT priority funding with the following changes of moving the deed restriction incentives and the housing authority funding requests to number three and four in the funding priority. Council Member Maciaszek seconded the motion. In a roll call vote, Council Member Nielsen, Council

Member Maciaszek, Mayor Giles, Council Member Nelson, and Council Member Thrower and the motion carried.

The City Council noted the importance of providing guidance to the LOT Commission and requested that the topic be discussed at the Council Retreat. Mayor Giles asked for the allowed percent increase on property taxes. Treasurer Stokes gave an additional overview on how the property tax levy increases work noting a total percent increase of 5.24%. The City Council thanked staff for the work put in to get an FY24 budget in place.

Budget Next Steps

FY24 Council Work Session on August 4 – Council Member Nielsen will not be available.

FY24 Budget Public Hearing on August 24 at 5:30 PM

FY24 Foregone Public Hearing on August 24 at 5:30 PM

FY24 Budget Adoption on August 24

ADJOURNMENT

Without further business, Mayor Giles adjourned the meeting at 2:32 p.m.

ATTEST:

Robert S. Giles, Mayor

BessieJo Wagner, City Clerk

MINUTES

**McCall City Council
Regular Meeting
McCall City Hall -- Legion Hall
VIA TEAMS Virtual
September 14, 2023**

Call to Order and Roll Call
Pledge of Allegiance
Approve the Agenda
Consent Agenda
Public Comment
Reports
Business Agenda
Public Hearings
Business Agenda continued
Adjournment

CALL TO ORDER AND ROLL CALL

Council President Nielsen called the regular meeting of the McCall City Council to order at 5:30 p.m. Council Member Maciaszek, Council Member Nelson, Council Member Nielsen, and Council Member Thrower all answered roll call. Mayor Giles was absent.

City staff members present were Anette Spickard, City Manager; Bill Nichols, City Attorney; BessieJo Wagner, City Clerk; Sarah Porter, Deputy Clerk; Erin Greaves, Communications Manager; Linda Stokes, City Treasurer; Michelle Groenevelt, Community Development Director; Brian Parker, City Planner; Kurt Wolf, Parks and Recreation Director; Eric McCormick, Golf Course Superintendent; Meg Lojek, Library Director; Chris Curtin, Information Systems Manager; Traci Malvich, Human Resources Manager; Dallas Palmer, Police Chief; Nathan Stewart, Public Works Director; Sean Reilly, Network Administrator; Emily Hart, Airport Manager; David DiMartino, Golf Professional, and Molly McCullough, Communications

Council President Nielsen led the audience in the Pledge of Allegiance.

APPROVE THE AGENDA

Council Member Maciaszek moved to approve the agenda with the modification to move AB 23-188 to after reports and before the public hearings. Council Member Thrower seconded the motion. In a voice vote all members voted aye, and the motion was carried.

CONSENT AGENDA

Staff recommended approval of the following ACTION ITEMS. All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall City Council for reading and study. The items listed are considered routine by the Council and were enacted with one motion.

1. City Council Regular Meeting Minutes – June 29, 2023
2. City Council Regular Meeting Minutes – July 13, 2023
3. City Council Special-Regular Meeting Minutes – August 3, 2023
4. City Council Regular Meeting Minutes – August 10, 2023
5. City Council Regular Meeting Minutes – August 24, 2023
6. City Council Special Meeting Minutes – September 7, 2023
7. Warrant Register – GL
8. Warrant Register – Vendor
9. Council Requested Payroll Reports – August 18, 2023
10. Council Requested Payroll Reports – September 1, 2023
11. Accept the Minutes of the following Committees
 - a. McCall Area Planning and Zoning Commission – December 6, 2022
 - b. Local Option Tax Commission – March 16, 2023
 - c. Golf Course Advisory Committee – April 19, 2023
 - d. Airport Advisory Committee – May 4, 2023
 - e. McCall Historic Preservation Commission – May 8, 2023
 - f. Local Option Tax Commission – May 9, 2023
 - g. Golf Course Advisory Committee – May 10, 2023
 - h. Local Option Tax Commission – May 10, 2023
 - i. Airport Advisory Committee – June 1, 2023
 - j. Airport Advisory Committee – July 6, 2023
 - k. Golf Course Advisory Committee – July 12, 2023
 - l. Public Art Advisory Committee – July 24, 2023

12. **AB 23-184 City Licenses Report to Council Per McCall City Code**

Per McCall City Code Title 4 Chapter 9, the City Council has determined the City Clerk shall be delegated the authority to process and grant or deny all alcoholic beverage license applications, other than certain circumstances involving catering permits, which the City Clerk shall review the application for catering permit for completeness and forward said application to the Police Chief. The Police Chief upon receipt of the application shall make a recommendation to the City Clerk to approve or deny the application. Whenever the City Clerk shall determine that an application for alcoholic beverage license transfer or renewal is complete, the City Clerk shall approve or deny such application. All decisions of the City Clerk shall be reported to the City Council at the next regularly scheduled City Council meeting after such a decision. The City Clerk is also responsible for all processing of business, taxi, snow removal, pawnbroker, child daycare licenses, vendor and short-term rental permits, and public event applications. *Action: Review the License Report.*

13. **AB 23-190 Request for Assignment of Ground Lease for Greystone Village #3, Lot 5, Block 3, 1547 McCall Avenue to Joel S Tinker and Lillian C Tinker**

The City of McCall has a lease agreement with Dana and Michelle Borgquist for a single lot located at 1547 McCall Avenue. Mr. and Mrs. Borgquist are selling this home to Joel S Tinker and Lillian C Tinker. Accordingly, Mr. and Mrs. Tinker will assume the land lease for Lot 5. The lease transfer fee to be paid at closing by Mr. and Mrs. Borgquist is \$2,500. Joel S Tinker and Lillian C Tinker are considered “qualified buyers” and will live in the home located at 1547 McCall Avenue and Mr. Tinker will work in the City limits of McCall, qualifying the buyers for rent of \$1.00 per year already paid by Neighborhood Housing Services, Inc., a non-profit corporation organized and existing under the laws of Idaho, having its principal office at 1401 Shoreline Drive, Boise, Idaho 83707. *Action: Authorize the transfer of the land lease for Greystone Village #3, Lot 5, Block 3, from Dana and Michelle Borgquist to Joel S Tinker and Lillian C Tinker and authorize the Mayor to sign all necessary documents.*

14. **AB 23-185 Request to Approve the Findings of Fact, Conclusions, of Law, and Decision Document for PUD-22-01, SUB-22-05, Boydston Place Subdivision, for Urban Design+Build**

During the regularly scheduled August 10, 2023, McCall City Council Meeting, the City Council, after conducting a public hearing, directed staff to prepare findings and conclusions in approval of PUD-22-01 and SUB-22-05 with suggested conditions of approval identified in the Staff Report for the preliminary planned unit development and preliminary subdivision preliminary plat as recommended by the McCall Area Planning and Zoning Commission. *Action: Approve the Findings of Fact, Conclusions of Law, and Decision Document for PUD-22-01, SUB-22-05, Boydston Place Subdivision, for Urban Design+Build and authorize the Mayor to sign all necessary documents.*

Council Member Thrower moved to approve the Consent Agenda as submitted. Council Member Nelson seconded the motion. In a roll call vote, Council Member Thrower, Council Member Nelson, Council Member Nielsen, and Council Member Maciaszek all voted aye, and the motion carried.

PUBLIC COMMENT

Council President Neilsen called for public comment at 5:34 p.m.

Three written comments were received and are included as attachment A.

Eva Prince, Wildwood Condos

Ms. Prince noted being The Play of The Day Coordinator for the McCall Ladies Golf Association and reviewed that there are over 100 women affiliated with the local association through the Idaho Golf Association. Ms. Prince expressed appreciation for the Golf Course staff and the beautifully kept course and noted that the new Golf Pro, David DiMartino, has been nothing but supportive of the association. Additionally, Ms. Prince asked the Council to hold off on increasing golf fees.

David Gallipoli, 405 Floyd St

Mr. Gallipoli expressed the need for McCall to promote sustainable tourism to limit the impact on the environment. Mr. Gallipoli noted that other resort towns such as Lake Tahoe and Crested Butte have admitted that they cannot handle any more tourists amid the same issue Valley County is facing with growth.

Hearing no further comments, Council President Neilsen closed the comment period at 5:42 p.m.

REPORTS

Chamber Report

A representative for the McCall Chamber of Commerce was not present to address the City Council. The City Council had no questions regarding the memo provided in the meeting packet.

Monthly Department Reports

Council Member Nielsen asked Public Works Director Nathan Stewart for an update on road construction. Director Stewart gave an update noting paving on Davis is likely to occur by the end of the month. Deinhard reconstruction is struggling with the utility lines in the construction zone, but paving is expected to occur the week of October 9th. Council Member Nelson noted the school traffic interruption is minimal with the construction on Deinhard. Director Stewart noted there has not been any negative communication from the school or project manager.

Council Reports

Council Member Nelson reviewed the work being done by multiple groups for youth mental health in both Valley and Adams Counties.

BUSINESS AGENDA

AB 23-188 Request to Approve the Woodstock Agreement with Heartland Hunger & Resource Center and Proclaim September 23rd, 2023, as Humanitarian Woodwork Day

Recreation Supervisor Tara Woods presented to the City Council. Linda Klind and David Holland, in conjunction with the Heartland Hunger and Resource Center, have worked with churches and other community organizations to create a humanitarian project of obtaining firewood for those in need. The three groups of individuals designated for assistance are 1) widows and single women with children; 2) the aged and infirmed, and 3) those injured and not capable of getting wood themselves. Linda Klind requested that the City declare, by proclamation, a Saturday in September of each year as the "Humanitarian Woodwork Day". This year that day is September 23, 2023. In prior years, over 200 volunteers participated in cutting, splitting, and delivering hundreds of cords of wood. Since the first Woodwork Day over 1000 cords of firewood have been delivered to over 230 families in need. No one under the age of 18 will be permitted to use a chainsaw. The primary sawyers will be volunteers from the Forest Service Firefighters. The goal is to have the wood cut into rounds the week prior to reduce the need for additional sawyers. The McCall Fire District is

volunteering to provide EMT services for the activities. Enough wood has been purchased and is in McCall already for this year's event.

The City Council expressed amazement and appreciation.

Council Member Maciaszek moved to approve the Woodstock Agreement with Heartland Hunger & Resource Center and Proclaim the 23rd day of September 2023 to be Humanitarian Woodwork Day in the City of McCall and authorize the Mayor to sign all necessary documents. Council Member Nelson seconded the motion. In a voice vote, all voted aye, and the motion carried.

PUBLIC HEARINGS

AB 23-187 Request to approve Resolution 23-16 Establishing fees for the PRO-AM Tournament and Adopting the FY24 Golf Course Use Fees, Rental Fees, Tournament and Miscellaneous Fees for the City of McCall

Council Member Maciaszek moved to Open the Public Hearing for the proposed PRO-AM Tournament Fee. Council Member Nelson seconded the motion. In a voice vote all voted aye, and the motion carried.

Golf Pro David DiMartino presented to the City Council. Fees were set for the Golf Shop Operations and Tournaments excluding the Pro-Am tournament earlier this year. The Public Hearing is intended to set the fee for the Pro-am which was missed when the other rates were set. The PRO-AM tournament entry fee is new to the fee schedule and therefore state law requires the City Council to hold a public hearing to set that fee. None of the other fees require a public hearing prior to adoption as the recommended increase is 5%. The Resolution will also increase Daily Greens fees, Season Passes, Tournaments and Locker rental by 5% to keep up with the increase in expenses, as presented to the City Council during the FY24 budget preparation and were recommended by The Golf Course Advisory Committee during their July 12, 2023, meeting. Fees were held flat for the 2023 season as part of the transition to the in-house course management model with direction from Council to include golf course rate changes in the summer budgeting process instead of a separate process in the winter.

Council Member Nelson noted that the 5% increase is really like a 2.5% increase for last year and 2.5% increase for next year to cover increased expenses. Pro DiMartino noted that the 5% increase is standard across the industry. Additionally, even with the increased fees there is still great value for pass holders. Council Member Nelson asked if tournament fees are charged per person or per team. Pro DiMartino explained that the tournament fees are charged per team. Council Member Maciaszek asked if the proposed fees were approved by the Golf Advisory Committee (GAC). Pro Martino confirmed that the GAC did recommend approval of the fees. Council Member Thrower proposed adding a senior rate in the future for the season pass. Pro DiMartino expressed understanding of the stance of Eva Prince who commented during the public comment section of the meeting. Additionally, Pro DiMartino feels that it is necessary to increase fees in order to keep up the experience and the golf course conditioning that the players have grown accustomed to.

Council Member Nielsen noted that the City is now operating in a different structure and getting through the first year has been a major step.

Council President Nielsen called for public comment at 6:14 p.m.

No written or in-person comments received.

Council Member Maciaszek moved to Close the Public Hearing. Council Member Nelson seconded the motion. In a voice vote all voted aye, and the motion carried.

Council Member Nelson moved to approve Resolution 23-16 Establishing fees for the PRO-AM Tournament and Adopting the FY24 Golf Course Use Fees, Rental Fees, Tournament and Miscellaneous Fees for the City of McCall and authorize the Mayor to sign all necessary documents. Council Member Thrower seconded the motion. In a roll call vote, Council Member Nelson, Council Member Thrower, Council Member Nielsen, and Council Member Maciaszek all voted aye, and the motion carried.

AB 23-191 Request to Adopt an FY23 Budget Amendment Ordinance

Council Member Maciaszek moved to open the Public Hearing to adopt an FY23 Budget Amendment Ordinance. Council Member Thrower seconded the motion. In a voice vote all voted aye, and the motion carried.

City Treasurer Linda Stokes presented to the City Council. The budget amendment for FY23 appropriates additional revenues in the amount of \$1,613,226. The additional revenues are fund balance appropriations and transfer revenue. The requested FY23 budget amendment includes additional appropriations by fund and department necessary for the following items:

- General Fund - \$201,613 net increase in appropriations
 - \$201,613 Appropriated Fund Balance
 - \$33,000 – Street vehicle budgeted and ordered in FY22 but delivered in FY23
 - \$32,234 – Parks vehicle budgeted and ordered in FY22 but delivered in FY23
 - \$136,379 – Capital Project transfer to Recreation - Parks for Park Shop Relocation in FY23
- Streets Fund - \$33,000 net increase in appropriations
 - \$33,000 Transfer Revenue
 - \$33,000 – Transfer from General fund to purchase Streets fleet vehicle ordered in FY22 and received in FY23
- Recreation – Parks - \$168,613 net increase in appropriations
 - \$168,613 Transfer Revenue
 - \$32,234 – Transfer from General Fund for Parks fleet Vehicle ordered in FY22 and delivered in FY23
 - \$136379 – Transfer from General Fund for Parks Shop Relocation completed in FY23
- Water Fund - \$1,210,000 net increase in appropriations
 - \$150,000 – for meter and MXU Purchases ordered in FY22, not carried forward, and received in FY23

- \$1,060,000 – Deinhard Lane construction change order to upsize existing water line to specified size.

The City Council had no questions for Treasurer Stokes.

Council President Neilsen called for public comment at 6:18 p.m.

1 written comment included as Attachment B was received. City Manager Anette Spickard noted staff is working with commenter to improve knowledge of budget process. There were no in-person comments received.

Council Member Nelson noted that to look at alterations and increases to the budget are understandable as the budget is going to change during the year as supply is or isn't available. Both Treasurer Stokes and Manager Spickard are accountable for the bottom line. There is trust in the budget process.

Council Member Maciaszek moved to Close the Public Hearing. Council Member Thrower seconded the motion. In a voice vote all voted aye, and the motion carried.

Council Member Thrower moved to suspend the rules and read by title only, one time only, Ordinance No.1021. Council Member Maciaszek seconded the motion. In a roll call vote, Council Member Thrower, Council Member Maciaszek, Council Member Nelson, and Council Member Nielsen all voted aye, and the motion carried.

Deputy City Clerk Sarah Porter read by title only, onetime only, Ordinance No. 1021:

AN ORDINANCE AMENDING ORDINANCE NO. 1010, THE ANNUAL FY22 BUDGET, TO APPROPRIATE FUND BALANCES OF THE CITY OF MCCALL; PROVIDING FOR A TITLE; PROVIDING FOR FINDINGS; PROVIDING FOR THE ADOPTION OF A BUDGET AND THE APPROPRIATION OF EXPENDITURES OF SUMS OF MONEY TO DEFRAID THE NECESSARY EXPENSES AND LIABILITIES OF THE CITY OF McCALL. IN ACCORDANCE WITH THE OBJECT AND PURPOSES, AND IN THE CERTAIN AMOUNTS HEREIN SPECIFIED FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2022, AND ENDING ON SEPTEMBER 30, 2023; PROVIDING FOR THE LEVY OF A SUFFICIENT TAX; AND PROVIDING FOR AN EFFECTIVE DATE AND THE FILING OF A CERTIFIED COPY OF THIS ORDINANCE WITH THE SECRETARY OF STATE.

Council Member Thrower moved to adopt Ordinance No. 1021 amending the FY23 Appropriations Ordinance No. 1010 and authorize the Mayor to sign all necessary documents. Council Member Nelson seconded the motion. In a roll call vote, Council Member Thrower, Council Member Nelson, Council Member Maciaszek, and Council Member Nielsen all voted aye, and the motion carried.

BUSINESS AGENDA

AB 23-186 Request to review the Wildlife Feeding Ordinance – Amending 5.7.010 and Enacting 5.7.400 and Direction to Staff

Police Chief Dallas Plamer presented to the City Council. On August 3, 2023, the City Council directed staff to reevaluate the proposed draft Wildlife Feeding Ordinance with City Attorneys, White Peterson, while considering recommendations from Idaho Conservation League Wildlife Program Associate Jeff Abrams and Washington State University Department of Veterinary Microbiology and Pathology Professor Dr. Margaret Wild. Staff completed the reevaluation and have produced an updated draft Wildlife Feeding Ordinance for the City Council’s consideration. Dr. Wild was in support of the draft Ordinance.

Direction to staff for final review and possible adoption at the September 28, 2023, Regular City Council meeting. Council Member Thrower and Council Member Nelson prefer setting the item up for a public hearing. Council Member Nielsen agreed and noted the importance of closing out the topic by maintaining the transparency and engagement that has taken place throughout the whole process.

AB 23-183 Request for Approval of Ardurra Group, Inc. Contract for Professional Services for McCall Municipal Airport

Airport Manager Emily Hart presented to the City Council. The McCall Municipal Airport desires to retain the services of a Professional Engineering, Planning, and Surveying Consultant knowledgeable in airport management, planning, development, and related issues to provide professional services on an “as-needed”, “on-call” (continuing services) capacity, and; it is the desire and the intent of McCall Municipal Airport to retain the services of a single professional service firm to serve as the Airport Consultant for both Airport Improvement Program (AIP) and Non-AIP funded projects; and pursuant to a public qualifications based selection process undertaken by the City of McCall. After conducting an advertised competitive selection process and reviewing proposals submitted by Jacobs Engineering Group, J-U-B Engineers, and Ardurra Group, Inc., (formerly T-O Engineering), Ardurra Group ranked the highest and was determined to possess the necessary qualifications and experience to provide airport management, planning and development consulting services to the McCall Municipal Airport.

The City Council had no questions.

Council Member Thrower moved to approve Ardurra Group, Inc. Professional Services Contract for McCall Municipal Airport engineering services and authorize the Mayor to sign all necessary documents. Council Member Nelson seconded the motion. In a voice vote, all voted aye, and the motion carried.

AB 23-189 Approve Landscapes Unlimited, LLC Contract to Relevel Existing Tees and Build New Forward Tees on Aspen 9

Golf Course Superintendent Eric McCormick presented to the City Council. One of the Golf Course Master Plan priorities is to level existing tees and build new forward tees. Staff plans to work 9 holes each fall until the entire project outlined in the Golf Course Master Plan is complete. Staff went out to bid and only received one bid from Landscapes Unlimited LLC, which is responsive and within the budget. Landscapes Unlimited LLC, under a previous contract,

satisfactorily finished the Birch tees project this summer and has proposed to do the Aspen tees project under this contract while they are still in the area. This will save on mobilization costs. A portion of this bid is to repair cart paths next to tees for which the Golf Course was awarded Local Option Tax funds. The contract has been reviewed by the City Attorney.

Council Member Nelson asked about the process and if there is a lot of earth moving. Superintendent McCormick explained the process of building up and moving tees. Manager Spickard noted that the tee improvements were identified in the Golf Course Master Plan as priority projects to be addressed. Council Member Nielsen asked if there were any cost savings for the City since Landscapes Unlimited was already mobilized locally to do the Birch tees. Superintendent McCormick noted that not only did the City see cost savings, but the project was able to start sooner than planned.

Council Member Nelson moved to approve the contract with Landscapes Unlimited, LLC To Relevel Existing Tees and Build New Forward Tees on Aspen 9 and authorize the Council President to sign all necessary documents. Council Member Maciaszek seconded the motion. In a voice vote, Council Member Nelson, Council Member Maciaszek, Council Member Nielsen, and Council Member Thrower all voted aye, and the motion carried.

Upcoming Meetings Schedule Discussion

The City Council discussed upcoming meetings.

ADJOURNMENT

Without further business, Council President Nielsen adjourned the meeting at 6:46 p.m.

ATTEST:

Robert S. Giles, Mayor

BessieJo Wagner, City Clerk

September 14, 2023 Regular Council Meeting - General Comment

Name	Address	Email	Content
Kelly Martin	102 E Park St McCall ID 83638	kelamart4@gmail.com	I strongly support the city's deer feeding ordinance. This problem has to be solved and making people stop feeding them is a great first step. I live in town and have a large vegetable garden, and despite two fences, the deer still get in and cause so much damage. Gardening in McCall is hard, and having your efforts ruined by deer that aren't supposed to be around is frustrating. I am also very concerned about mountain lions in town- I have a dog and fear for her safety in the yard in the winter. All because of these habituated town deer. Don't get me wrong, I love wildlife and love seeing deer and other critters on hikes and in the woods. But in our town, they aren't wild anymore, just a nuisance.
Carrie Potter	15 Boulder View Pl McCall ID 83638	carrie@pinetopmccall.com	Subject: Fostering Open Communication and Inclusive Decision-Making for McCall's Bright Future Dear Members of the McCall City Council, I am writing as a concerned member of the McCall community who deeply values the progress and well-being of our beloved city. First and foremost, I want to express my gratitude for the dedication and tireless efforts you have put into serving our community. Your commitment to McCall is evident, and it is with this spirit of service in mind that I wish to discuss a matter close to my heart. I believe that open lines of communication and a creative, inclusive mindset are essential in making decisions that will truly benefit the entire community. It is crucial that we consider the diverse perspectives and needs of all McCall residents, ensuring that every voice is heard and respected. While it is natural for differing opinions to arise, it is through constructive dialogue that we can arrive at solutions that truly serve the greater good. I implore you to foster an environment where residents feel encouraged to share their ideas, concerns, and aspirations for our city. Moreover, I encourage you to approach decisions with a forward-thinking mindset, considering not only the immediate impact but also the long-term effects on our community. Embracing innovative approaches and considering a wide range of possibilities will undoubtedly lead to more robust and effective outcomes. Specifically, in the context of the building industry, I also urge you to actively seek input from local experts. Their knowledge and experience are invaluable in shaping decisions that pertain to development, infrastructure, and the overall urban landscape of McCall. By engaging with these experts, we can ensure that our city grows in a sustainable and harmonious manner. Let us strive for decisions that transcend individual interests and work towards a future where McCall thrives as a cohesive and inclusive community. I believe that together, we can shape a city that we are all proud to call home. Thank you for your time, dedication, and service to McCall. I look forward to witnessing the positive impact that open communication, creative thinking, and collaboration with local experts will have on our community. Warm regards, Carrie Potter

From: [Erin Greaves](#)
To: [BessieJo Wagner](#); [Sarah Porter](#)
Subject: Fwd: Composting/Glass Repurposing
Date: Thursday, September 14, 2023 8:31:53 AM

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From: Joey Pietri <joey@legendcrossfit.com>
Sent: Thursday, September 14, 2023 4:12:42 AM
To: Erin Greaves <egreaves@mccall.id.us>
Subject: Re: Composting/Glass Repurposing

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

> On Sep 14, 2023, at 4:00 AM, Joey Pietri <joey@legendcrossfit.com> wrote:

>

> Dear Erin,

> Would you pass this along to the appropriate people? Thanks

Joey

> Dear Council and P&Z members,

> I would like to express my support for the composting program at Riverfront Park proposed by the McCall Women's Climate Action Group and the McCall Parks and Rec.Department .

>

> Enormous savings in dump fees Transportation and the overall community health would benefit.

>

> In addition, Glass is a squandered resource that can save money in the long run, yet provide an excellent source of material for many useful things while relieving the mining and extraction of precious lands.

>

> I think till we have a Statewide redemption program pulverization of glass is the best way to go. Producing sand is multi purposed, It is not a waste product.

>

> I'd like also to recommend requiring all new PUD's to include areas for recycle collection, compost and community garden in their plan prior to moving forward with their project. Think Sustainability and sense of Community!

>

> Hopefully the waste disposal company can be a more positive force in creating the best practices and more convenient drop locations.

>

> I have spoken with Republic Services in the not too distant past and they seem to be a bit more Progressive and Pro-Active in response to questions I had raised about Glass, Compost and Curbside . In addition, they already have some Electric powered collection vehicles and we are moving in that direction .

>

> With City, County, Waste Management companies and Community working together, we can figure this out with involvement.

> .

>

>
> Thank you for the opportunity to comment. I hope my thoughts will lend to a more sustainable future. Please keep me up on and include me in any efforts to move forward with any of these projects and issues.

>

>

>

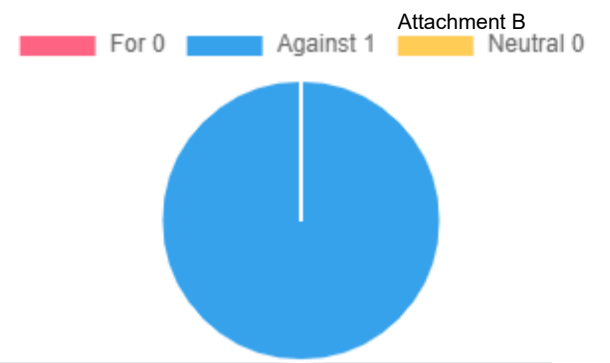
> Best regards,

>

> Joey Pietri

> McCall

September 14, 2023 Public Hearing - Budget Amendment -General Comment



Name	Address	Email	Opinion	Content
Carrie Potter	15 Boulder View Pl McCall ID 83638	carrie@pinetopmccall.com	Against	<p>Dear Members of the McCall City Council, I hope this message finds you in good health and spirits. I am writing as a concerned member of the McCall community to address serious concerns regarding the proposed budget for the upcoming fiscal year. It has come to my attention that there have been significant deviations from the established guidelines governing the use of local option tax revenues, as well as apparent misallocation of general funding. These matters are of utmost importance to the financial health and sustainability of our community, and as such, I am requesting that you give serious consideration to denying the proposed budget. Local option taxes were instituted with the intent of funding specific projects that directly benefit our community. It is imperative that these funds are utilized in accordance with the established guidelines to maintain transparency, accountability, and public trust. Deviating from these guidelines undermines the integrity of the system and jeopardizes the faith that residents have in our local government. Furthermore, any misuse or misallocation of general funding can have far-reaching consequences for the overall well-being of McCall. It is essential that taxpayer dollars are managed with the utmost diligence and prudence. Any deviations from this principle risk compromising the financial stability and sustainability of our city. I urge you to thoroughly review the proposed budget, addressing the concerns raised regarding adherence to local option tax guidelines and the proper use of general funding. It is crucial that any discrepancies be rectified before finalizing the budget for the upcoming fiscal year. I appreciate your dedication to serving our community, and I trust that you will approach this matter with the seriousness and diligence it deserves. Your decisions directly impact the lives of McCall residents, and I am confident that together, we can work towards a more transparent and accountable financial framework. Thank you for your attention to this critical matter. I look forward to witnessing the continued growth and prosperity of McCall under your stewardship. Sincerely, Carrie Potter</p>

MINUTES

**McCall City Council
Regular Meeting
McCall City Hall -- Legion Hall
VIA TEAMS Virtual
October 12, 2023**

Call to Order and Roll Call
Pledge of Allegiance
Approve the Agenda
Consent Agenda
Public Comment
Reports
Business Agenda
Adjournment

CALL TO ORDER AND ROLL CALL

Mayor Giles called the regular meeting of the McCall City Council to order at 5:30 p.m. Mayor Giles, Council Member Maciaszek, Council Member Nelson, Council Member Nielsen, and Council Member Thrower all answered roll call.

City staff members present were Anette Spickard, City Manager; Bill Nichols, City Attorney; BessieJo Wagner, City Clerk; Sarah Porter, Deputy Clerk; Erin Greaves, Communications Manager; Linda Stokes, City Treasurer; Michelle Groenevelt, Community Development Director; Eric McCormick, Golf Course Superintendent; Meg Lojek, Library Director; Chris Curtin, Information Systems Manager; Traci Malvich, Human Resources Manager; Dallas Palmer, Police Chief; Nathan Stewart, Public Works Director; Sean Reilly, Network Administrator; Emily Hart, Airport Manager; David DiMartino, Golf Professional.

Also, in attendance was Julie Whitescarver, McCall Chamber of Commerce Director.

Mayor Giles led the audience in the Pledge of Allegiance.

APPROVE THE AGENDA

Council Member Nielsen moved to approve the agenda as submitted. Council Member Thrower seconded the motion. In a voice vote all members voted aye, and the motion carried.

CONSENT AGENDA

Staff recommended approval of the following ACTION ITEMS. All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall City Council for reading and study. The items listed are considered routine by the Council and were enacted with one motion.

1. City Council Special Meeting Minutes – June 30, 2023
2. City Council Regular Meeting Minutes – September 28, 2023
3. Warrant Register – GL
4. Warrant Register – Vendor
5. Council Requested Payroll Reports – September 29, 2023
6. Accept the Minutes of the following Committees
 - a. McCall Area Planning and Zoning Commission – February 7, 2023
 - b. McCall Area Planning and Zoning Commission – June 6, 2023
 - c. Library Board of Trustees – July 10, 2023
 - d. McCall Area Planning and Zoning Commission – July 11, 2023
 - e. McCall Redevelopment Agency – August 1, 2023
 - f. Public Art Advisory Committee – August 28, 2023

7. **AB 23-199 City Licenses Report to Council Per McCall City Code**

Per McCall City Code Title 4 Chapter 9, the City Council has determined the City Clerk shall be delegated the authority to process and grant or deny all alcoholic beverage license applications, other than certain circumstances involving catering permits, which the City Clerk shall review the application for catering permit for completeness and forward said application to the Police Chief. The Police Chief upon receipt of the application shall make a recommendation to the City Clerk to approve or deny the application. Whenever the City Clerk shall determine that an application for alcoholic beverage license transfer or renewal is complete, the City Clerk shall approve or deny such application. All decisions of the City Clerk shall be reported to the City Council at the next regularly scheduled City Council meeting after such a decision. The City Clerk is also responsible for all processing of business, taxi, snow removal, pawnbroker, child daycare licenses, vendor and short-term rental permits, and public event applications. *Action: Review the License Report.*

8. **AB 23-197 Request to Approve Treasure Valley Transit (TVT) FY24 Annual Agreement**

This is the annual contract for services with Treasure Valley Transit (TVT) for fiscal year 2024. TVT will provide to the City the following:

- a. Free public transportation to the general public within the City seven (7) days per week from 7 AM until 7 PM Mountain Standard Time on the route established within Appendix 1 to this agreement. TVT is not required to provide transportation services on Thanksgiving Day or Christmas Day.
- b. Free transportation to the general public who request a pickup or drop-off within $\frac{3}{4}$ of a mile from the route established.
- c. Free transportation to anybody along the designated route who flags the bus for pickup in a location where it is safe to stop and accommodate the passenger pickup.
- d. Free transportation to the general public within the expanded service area on Fridays and Saturdays and during extended Holiday Weekends between Memorial Day

weekend and Labor Day weekend on a route that is a continuous loop from the Super 8 to the Brundage Inn along the main corridor.

- e. A commuter Express Route connecting McCall to Lake Fork, Donnelly, and Cascade.
- f. An online website with access to route maps outlining transportation services provided by TVT within McCall.
- g. Not later than June 1, 2024, an annual report outlining the number of riders/passengers who utilized TVT transportation within the previous year from May 31, 2022 through May 31, 2023, together with financial statements for TVT consisting at a minimum of the prior year end annual Balance Sheet and Profit and Loss statements as well as the current year to date Balance Sheet and Profit and Loss statements.

Action: Approve the request of the Treasure Valley Transit (TVT) Annual Agreement for FY24 and authorize the Mayor to sign all necessary documents.

9. **AB 23-198 Request to Approve MCPAWS FY24 Annual Service Agreement**

Each year the City of McCall contracts with MCPAWS Regional Animal Shelter for pound and animal shelter service. MCPAWS will provide to the City the following:

- a. Care and boarding for animals brought to the shelter by members of the McCall Police Department, animals found within McCall city limits and brought to the shelter by private citizens, and animals surrendered by residents living within McCall city limits.
- b. 24-hour access to the facility for drop off by the McCall Police Department.
- c. Collection of fees for impounded animals, fees to be retained by MCPAWS. Fees to be set by MCPAWS.
- d. Quarantine of vicious animals, animals suspected of biting, or animals being held in a pending court case.
- e. Quarterly reports will be provided to the McCall City Clerk of activity to include the number of animals impounded and data relating to the actual location where the animal was found, number of days boarded, etc.

Action: Approve the Agreement for Services for FY24 with MCPAWS Regional Animal Shelter and authorize the Mayor to sign all necessary documents.

Council Member Nelson moved to approve the Consent with the correction to the TVT Contract amount. Council Member Thrower seconded the motion. In a roll call vote Council Member Nelson, Council Member Thrower, Mayor Giles, Council Member Nielsen, and Council Member Maciaszek all voted aye, and the motion carried.

PUBLIC COMMENT

Mayor Giles called for public comment at 5:33 p.m.

No written comments were received.

David Gallipoli, 405 Floyd

Mr. Gallipoli expressed appreciation and thanks to the City Council for everything the City Council does to listen to the community. Additionally, Mr. Gallipoli thanked the City planning staff for attending the Valley County Commissioners meeting regarding the Store-it application in the City Area of Impact.

Hearing no further comments, Mayor Giles closed the comment period at 5:37 p.m.

REPORTS

Chamber Report

McCall Area Chamber of Commerce Director Julie Whitescarver presented to the City Council. Director Whitescarver gave an overview of the Fall Festival. Highlights included raising \$1,000 for the Rory and Sarah Meehan fund, Business After hours for October will be at North Fork Coffee, upcoming Zombie Crawl event to support local breweries and restaurants, as well as future events and leadership academy recruitment.

Monthly Department Reports

Council Member Nielsen asked Public Works Director Nathan Stewart for an update on road construction. Director Stewart noted that asphalt has started at the Deinhard Lane project and Deinhard Lane will remain closed next week. The goal is to have Deinhard open by Friday, October 20th. Mayor Giles asked about Davis Ave paving. Director Stewart reviewed some of the challenges facing the paving and noted that the Wooley and Davis intersection is now open. Also noted was the Thompson Ave paving starting tomorrow. Mayor Giles asked staff to express appreciation to all the contractors and other staff working on the large amount of construction projects going on with City right of way.

Council Member Nielsen asked about the work being done at the small park on Roosevelt Ave. City Manager Anette Spickard noted that when the alley vacation happened, funds were donated to the City to improve the park. Parks and Recreation Director Kurt Wolf is in the process of getting the landscaping design finalized. Council Member Nielsen questioned if the City Council saw the design for the park previously. Manager Spickard expressed that staff will be made aware of the City Council's interest in the project.

Council Member Nielsen praised City Clerk BessieJo Wagner for receiving the Dr. James B. Weatherby award through the Idaho City Clerks, Treasurers, and Finance Officers Association.

Council Reports

No reports from the City Council.

BUSINESS AGENDA

AB 23-201 Request to Appoint a Member of Council to the Post Annexation Joint Wastewater Advisory Group (JWAG)

City Manager Anette Spickard presented to the City Council. On October 4, 2023, the McCall City Council and the Payette Lakes Recreation Water and Sewer District Board (PLRWSBD) met to discuss Accessory Dwelling Units (ADUs) and Communication between the organizations. It was concluded that the Post JWAG should be restarted to work on this policy and others, coordinate projects and ensure regular communication between the elected officials and staff in a formalized way. Per the Annexation Agreement, this Post JWAG group is outlined, and the number and

appointment of members are defined. There shall be seven (7) members of the Advisory Group which shall consist of the following:

1. District's Operations Manager
2. City's Public Works Director
3. City's Community Development Director
4. One District employee appointed by the District's Board of Directors
5. One District Director appointed by the District's Board of Directors
6. One City Council Member appointed by the City Council
7. One District Elector, who is also a resident within the District appointed by agreement of the City Council and the District's Board of Directors for a term of one (1) year

City Staff are coordinating with PLRWSD staff on advertising for the one District Elector, the meeting date in the end of October and the agenda.

Manager Spickard noted that previously Council Member Nielsen was the liaison to the JWAG. Mayor Giles asked Council Member Nielsen if he was interested in continuing as the liaison. Council Member Nielsen confirmed he is still interested.

Council Member Nelson moved to appoint a Council Member Nielsen to serve on the Post JWAG. Council Member Thrower seconded the motion. In a roll call vote Council Member Nelson, Council Member Thrower, Mayor Giles, Council Member Maciaszek, and Council Member Nielsen all voted aye, and the motion carried.

AB 23-202 Request for Library Board of Trustees member appointment – Lola Elliot

Library Director Meg Lojek presented to the City Council. The Library Board of Trustees voted to recommend Lola Elliot for re-appointment. Ms. Elliot has been serving on the board for many years as the Liaison to the Friends of the Library group and stands out for her enthusiasm for the Library, her connections in the community, and her passion for involving young students in reading. Ms. Elliot's letter of interest stated that "serving has been a very rewarding experience. I am proud to be part of the Library Expansion Project and part of a team that is bringing the dream of a new Library to McCall." The Library Board of Trustees advocates for the Library and literacy, hires and evaluates the Library Director, monitors overall effectiveness of the Library as a social institution and sets Library policies and strategic goals to better serve the community. Trustees are volunteers who serve for a term of five years. Library Trustees are recommended for appointment by current Library board members and appointed by the City Manager and City Council. City Manager Anette Spickard agrees with the recommendation to appoint Lola Elliot.

Mayor Giles expressed appreciation for Ms. Elliotts volunteerism and dedication to the community.

Council Member Thrower moved to appoint Lola Elliot to the McCall Public Library Board of Trustees for a term to expire October 2028. Council Member Nelson seconded the motion. In a roll call vote Council Member Thrower, Council Member Nelson, Mayor Giles, Council Member Maciaszek, and Council Member Nielsen all voted aye, and the motion carried.

AB 23-200 Request to Adopt Resolution 23-21 Accepting ITD Aeronautics Division Grant Offer for Airport Improvement Project (AIP) 034

Airport Manager Emily Hart presented to the City Council. The Idaho Transportation Department (ITD), Aeronautics Division, has provided a grant offer for reimbursement of up to 5% of the total project cost of AIP 034 not to exceed \$42,202.61. AIP 034 was completed between July 24 and September 19, 2023, and entailed a full-depth resurfacing and re-marking of Taxiway E. A Federal Aviation Administration (FAA) grant funded 90% of the project cost. ITD has offered to match up to \$42,202.61 or 3%. Therefore, the City match will be adjusted to \$85,585.59, or 7%. In anticipation of a potential grant offer from ITD, Aeronautics Division, of less than 5%, City Staff prepared the budget to include the entire 10% match from City funds.

The City Council had no questions regarding the adoption of Resolution 23-21.

Council Member Nielsen moved to Request City Clerk to read in full Resolution 23-21. Council Member Nelson seconded the motion. In a voice vote, all voted aye, and the motion carried.

City Clerk BessieJo Wagner read Resolution 23-21 in full:

A RESOLUTION OF THE CITY OF MCCALL, IDAHO, ACCEPTING THE GRANT OFFER OF THE STATE OF IDAHO THROUGH THE IDAHO TRANSPORTATION DEPARTMENT, DIVISION OF AERONAUTICS, IN THE MAXIMUM AMOUNT OF \$42,202.61 TO BE USED UNDER THE IDAHO AIRPORT AID PROGRAM, FS PROGRAM NUMBER: F248MYL, PROJECT NUMBER: AIP034 IN THE DEVELOPMENT OF THE MCCALL MUNICIPAL AIRPORT PROVIDING FOR RELATED MATTERS, AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and City Council of the City of McCall, Idaho (herein referred to as the City) as follows:

Sec. 1. That the City shall accept the Grant Offer of the State of Idaho in the amount of \$42,202.61, for the purpose of obtaining State Aid under FS Program Number: F248MYL, Project Number: AIP034 in the development of the McCall Municipal Airport; and

Sec. 2. That the Mayor of the City of McCall City Council is hereby authorized and directed to sign the statement of Acceptance of said Grant Offer (entitled Acceptance) on behalf of the City, the City Clerk is hereby authorized and directed to attest the signature of the Mayor and to impress the official seal of the City on the aforesaid statement of Acceptance; and

Sec. 3. A true copy of the Grant Agreement referred to herein be attached hereto and made a part thereof.

Sec. 4. This resolution shall be in full force and effect upon its passage and approval.

Council Member Thrower moved to approve Resolution 23-21 to accept a grant offer from the State of Idaho through the Idaho Transportation Department, Division of Aeronautics, in the maximum amount of \$42,202.61 to be used under the Idaho Airport Aid Program, FS

Program Number: F248MYL, Project Number: AIP034 in the Development of the McCall Municipal Airport and authorize the mayor to sign all necessary documents. Council Member Nielsen seconded the motion. In a roll call vote Council Member Thrower, Council Member Nielsen, Mayor Giles, Council Member Nelson, and Council Member Maciaszek all voted aye, and the motion carried.

AB 23-203 Request Approval of the Idaho Transportation Department – Office of Highway Safety – Traffic Enforcement Grant Project Agreement (TEGPA) for Federal Fiscal Year 2024 (FFY24)

Police Chief Dallas Plamer presented to the City Council. The Idaho Transportation Department Office of Highway Safety has announced the FFY24 Traffic Enforcement Grant Project Agreement (TEGPA). The McCall Police Department has partnered with the Office of Highway Safety over the last ten years by utilizing this funding resource to provide traffic enforcement initiatives in addition to regular patrol activities. The Office of Highway Safety High Visibility Traffic Enforcement Mobilizations provides for the reimbursement of officer salaries during traffic enforcement grant activities. The Office of Highway Safety Mini Grants provides funding resources for Special Emphasis Traffic Enforcement, Traffic Enforcement Equipment Projects, Public Information and Education, and Traffic Safety Related Training. A grant match of 25% is required for Mini Grants when applied for and approved by the Idaho Transportation Department. If approved for equipment funding through the Traffic Enforcement Equipment Projects, the McCall Police Department will purchase applicable traffic enforcement related equipment. The dollar amount earned through the grant will be determined by the actual equipment purchased.

Mayor Giles expressed appreciation for the Police Department. Chief Palmer noted that increase in population and the increased flow of not only pedestrian traffic but vehicle and bicycle traffic. Council Member Nelson commented on the City's efforts to be pedestrian friendly.

Council Member Nelson moved to Approve the Submission of the Idaho Transportation Department – Office of Highway Safety FFY24 Traffic Enforcement Grant Project Agreement (TEGPA) application and authorize the mayor to sign all necessary documents. Council Member Thrower seconded the motion. In a roll call vote Council Member Nelson, Council Member Thrower, Mayor Giles, Council Member Maciaszek, and Council Member Nielsen all voted aye, and the motion carried.

AB 23-204 Request Approval of the Joint Powers Subscriber Agreement with Idaho Counties Risk Management Program, Underwriters (ICRMP)

City Clerk BessieJo Wagner presented to the City Council. The City's policy renewal reflects the coverages selected for the policy term. The renewal premium is \$188,576.00 and will be billed to the City directly by ICRMP. Payment of the required premium by the due date indicated will avoid cancellation of coverage for nonpayment. This policy is subject to certain exclusions and limitations. The ICRMP Summary of Changes reviews multiple updates to their policy forms for this year. While these are mostly clarifications, reductions include but are not limited to:

1. *Asbestos, Dioxin, Polychlorinated Biphenyls or PFAS* (Perfluoroalkyl and Polyfluoroalkyls Substances) – *reduction*: Added to exclude claims related to PFAS.

2. *Criminal and Malicious Acts – reduction*: Added to exclude claims resulting from an act performed with malice or criminal intent.
3. *Property Insurance: Property in the Course of Construction – reduction*: Limit is reduced to \$1,000,000.
4. *Property Insurance: Inadvertently Omitted Property – reduction*: Removed coverage for Inadvertently Omitted Property
5. *Property Deductibles – reduction*: new deductibles for Flood, Gymnasium Flooring, Hail, Weight of Snow, Wind, Earthquake.

Mayor Giles commented on training previously received from ICRMP.

Council Member Nelson moved to approve the Joint Powers Subscriber Agreement with Idaho Counties Risk Management Program, Underwriters and authorize the Mayor to sign all necessary documents. Council Member Nielsen seconded the motion. In a roll call vote Council Member Nelson, Council Member Nielsen, Mayor Giles, Council Member Maciaszek, and Council Member Thrower all voted aye, and the motion carried.

Upcoming Meetings Schedule Discussion

The Council discussed upcoming meetings.

ADJOURNMENT

Without further business, Mayor Giles adjourned the meeting at 6:22p.m.

ATTEST:

Robert S. Giles, Mayor

BessieJo Wagner, City Clerk

MINUTES

**McCall City Council
Regular Meeting
McCall City Hall -- Legion Hall
VIA TEAMS Virtual
October 26, 2023**

Call to Order and Roll Call
Pledge of Allegiance
Approve the Agenda
Consent Agenda
Public Comment
Reports
Business Agenda
Executive Session
Return to Open Session
Adjournment

CALL TO ORDER AND ROLL CALL

Mayor Giles called the regular meeting of the McCall City Council to order at 5:30 p.m. Mayor Giles, Council Member Maciaszek, Council Member Nelson, Council Member Nielsen, and Council Member Thrower all answered roll call.

City staff members present were Anette Spickard, City Manager; Bill Nichols, City Attorney; Bill Punkoney, City Attorney; BessieJo Wagner, City Clerk; Erin Greaves, Communications Manager; Michelle Groenevelt, Community Development Director; Delta James, Economic Development Planner; Brian Parker, City Planner; Dallas Palmer, Police Chief; Sean Reilly, Network Administrator; Meredith Todd, Assistant City Planner; John Powell, Building Official

Also, in attendance were Fire Chief Garrett DeJong, and Fire Captain Ryan Garber

Mayor Giles led the audience in the Pledge of Allegiance.

APPROVE THE AGENDA

**moved to approve the agenda as submitted.
seconded the motion. In a voice vote all members voted aye, and the motion carried.**

CONSENT AGENDA

Staff recommended approval of the following ACTION ITEMS. All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall City

Council for reading and study. The items listed are considered routine by the Council and were enacted with one motion.

1. City Council Special Meeting Minutes – August 4, 2023
2. Payroll Report for the period ending October 13, 2023
3. Warrant Register – GL
4. Warrant Register – Vendor
5. **AB 23-207 City Licenses Report to Council Per McCall City Code**

Per McCall City Code Title 4 Chapter 9, the City Council has determined the City Clerk shall be delegated the authority to process and grant or deny all alcoholic beverage license applications, other than certain circumstances involving catering permits, which the City Clerk shall review the application for catering permit for completeness and forward said application to the Police Chief. The Police Chief upon receipt of the application shall make a recommendation to the City Clerk to approve or deny the application. Whenever the City Clerk shall determine that an application for alcoholic beverage license transfer or renewal is complete, the City Clerk shall approve or deny such application. All decisions of the City Clerk shall be reported to the City Council at the next regularly scheduled City Council meeting after such a decision. The City Clerk is also responsible for all processing of business, taxi, snow removal, pawnbroker, child daycare licenses, vendor and short-term rental permits, and public event applications. *Action: Review the license report.*

6. **AB 23-209 Treasurer’s Report as Required by IC 50-208**

Treasurer’s report of accounts and activity of office during the month of September 2023 regarding care, management or disposition of moneys, property or business of the City. *Action: Review the report.*

7. **AB 23-208 Request to Authorize the Mayor to sign an Idaho Office of Energy Management Subrecipient Agreement for a grant to support seismic analysis of the Public Works facility.**

The Idaho Office of Energy Management (IOEM) has awarded a Hazard Mitigation Grant to the City of McCall in the amount of \$61,087.50 to support the costs to have a licensed engineer conduct a Tier III Seismic Analysis of the Public Works facilities at 815 N. Samson Trail. This analysis will provide data to assess the costs and scope of seismic (earthquake) remediation actions as compared to costs of reconstruction of these facilities. Seismic analysis of public facilities is listed as a “high priority” in the 2020 Valley County Multi-Jurisdictional Hazard Mitigation Plan and is identified as a recommended action of the 2020 McCall Public Works Facility Master Plan. The total estimated cost of the seismic analysis is \$67,196.25. The grant will provide \$61,087.50 and must be matched with \$6,108.75 in local funds, which are available in the FY24 Public Works adopted budget. *Action: Authorize the Mayor to sign the Idaho Office of Energy Management Subrecipient Grant Agreement for a grant in the amount of \$61,087.50 to support seismic analysis of the Public Works facility.*

Council Member Nelson moved to approve the Consent Agenda as submitted. Council Member Nielsen seconded the motion. In a roll call vote Council Member Nelson, Council Member Nielsen, Mayor Giles, Council Member Maciaszek, and Council Member Thrower all voted aye, and the motion carried.

PUBLIC COMMENT

Mayor Giles called for public comment at 5:33 p.m.

One (1) written comment was received and is included as Attachment A.

Dan Noakes, 13161 Camron Dr Donnelly

Mr. Noakes owns a junk cleanup business and stated that Lake Shore Disposal has interpreted the contract between Lake Shore Disposal and the City of McCall to mean that any junk cleanup business is in conflict with the contract. Mr. Noakes expressed that the contract is too vague and request the contract be rewritten to allow junk cleanup businesses to operate In the City of McCall.

Hearing no comments, Mayor Giles closed the comment period at 5:37 p.m.

REPORTS

AB 23-205 McCall Redevelopment Agency (MRA) Annual Report

McCall Redevelopment Agency Chair, Mike Maciaszek presented to the City Council. The McCall Redevelopment Agency (MRA) is an urban renewal organization located within the City of McCall. The Board is comprised of seven members who oversee the agency and is staffed by City employees who provide administrative and technical resources. Chair Maciaszek reviewed the accomplishments of the MRA over the past year including updating board resolutions to clarify processes, the closure of the old district and the transition to the new district and a current vacancy on the board.

Mayor Giles asked about the new benches and trash receptacles at Legacy park and if the MRA was a part of funding those. Chair Maciaszek noted that those items were not funded by the MRA. Council Member Nelson asked about City beautification in terms of trees, artwork, flowers and in terms of ADA sidewalks and access as well as economic recovery for the area the district encompasses. Chair Maciaszek noted that all of those items are goals of the MRA, and part of the Downtown Master Plan also included funds to work towards workforce housing within the district. Chair Maciaszek additionally reviewed previous projects completed by the MRA including Mill Street parking lot, Brown Park, and Legacy Park.

BUSINESS AGENDA

AB 23-206 Request for McCall Area Youth Council (MAYC) Appointments for 2023-2024 Term

Assistant City Planner Meredith Todd presented to the City Council. The McCall Area Youth Council shall consist of no fewer than five (5) voting members appointed by the City Council. The term of office for each appointive member shall be (1) year. Alternate Members and General Membership is encouraged and crucial to the function of the MAYC in discussing, exploring concepts, and representing the McCall Area Youth in an Advisory capacity to City Council. Committee members need not be a resident of the City of McCall but should be enrolled in the McCall-Donnelly School District or another accredited learning institution in the McCall Region. Representation from students with an interest in change-making, civic engagement, local

government, and leadership, is preferred. The membership term of last year's students has expired, with all voting members having started college in September, requiring new membership to be appointed. The 2023-24 application and recruitment period resulted in more than 10 applications for membership and participation received by McCall Donnelly High School and City Staff. After discussions with students about availability for after school meetings, staff recommends the appointment of the following five (5) voting members:

1. Kyrie Bean
2. Sophie Ruehman
3. Keelee Burns
4. Mia Rider
5. Emerson Dummar

Mayor Giles asked for clarification on the names of those being appointed. Assistant Planner Todd noted that the five names in the agenda bill are the correct appointees but there will be other participating members not appointed by the City Council. Additionally noted were the grade levels of the involved students, specifically that there were no Seniors on this year's Youth Council.

Council Member Nelson moved to Appoint Kyrie Bean, Sophie Ruehman, Keelee Burns, Mia Rider, and Emerson Dummar for a one-year term ending in September of 2024. Council Member Nielsen seconded the motion. In a roll call vote Council Member Nelson, Council Member Nielsen, Mayor Giles, Council Member Thrower, and Council Member Maciaszek all voted aye, and the motion carried.

Upcoming Meeting Schedule Discussion and Direction

The City Council discussed upcoming meetings.

EXECUTIVE SESSION

At 6:00 p.m. Council Member Thrower moved to go into Executive Session for:

- **Litigation** 74-206 (1)(f) To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. The mere presence of legal counsel at an executive session does not satisfy this requirement.

Council Member Nelson seconded the motion. In a roll call vote, all voted aye, and the motion carried.

Council discussed a possible litigation issue.

RETURN TO OPEN SESSION

At 7:07 p.m. Council Member Nielsen moved to return to Open Session. Council Member Nelson seconded the motion. In a voice vote, all members voted aye, and the motion carried.

ADJOURNMENT

Without further business, Mayor Giles adjourned the meeting at 7:08p.m.

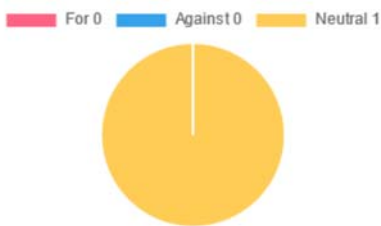
ATTEST:

Robert S. Giles, Mayor

BessieJo Wagner, City Clerk

DRAFT

October 26, 2023 Regular Meeting - General Comment



Name	Address	Email	Content
Julie Murphy	302 Mather Road Mccall ID 83638	juliegmurphy@gmail.com	<p>Marina Expansion. I was glad to read that the P&Z tabled the marina expansion. Let me add my voice to those not in favor of the expansion. Boats dropping in and out the the lake controls to some extent the number of boats on the lake on any given day. With the expansion, the lake will hold not only the 100 new boats but also the boats that will continue to drop in on any given day. Where will it stop. What are the boundaries (boat wise numbers) the size of this lake can contain. New slips will not diminish the boats dropped into the water, the trailer parking problems, the congestion. It will increase it. Where will the 100 boat owners park to access their boats on top of the people who will continue to drop in their boats? The majority of boat owners coming from Boise who drop in their boats will not decrease. Most boat owners cannot afford the \$3,000.00 a year the marina charges for a slip. They will always be dropping in. There are safety issues as well. The 100 slips will put a massive amount of boat traffic butt-up against both general public parks and the Parks's swimmers and paddle boarders and canoers. Negotiating the area for gas will become impossible for boaters. How many boats pulling tubes, skiers, wakeboarders, surfers, can the area of this small lake hold in safety? There are environmental issues. The lake is a sea of waves all summer from wake surfing and just the sheer number of boats on it each day all summer. A larger marina creates stagnant water and more algae growth. As the number of boats on the lake grows, will the marina apply for more gas tanks on the lake. Enough is enough. This is a small lake. In the uncertainty of climate in todays world, it must be protected. Boise is big and getting bigger. More boat slips will not solve a problem that cannot be solved by more growth. Growth on this lake is not sustainable. Yes the Marina wants to double its income. It does not own the lake. It does not pay for its use of the lake. 100 more boats will take out a huge chunk of lake to the marina. There will always be demand. Always. 100 slips is a lot for the lake, but small for the easement of demand. Just because someone wants a slip, can pay for a slip, does not mean he/she is entitled to a slip. This lake can so easily be ruined for everyone. Also last and least, who benefits money wise from this expansion besides the marina. At the end of the day how many boats on this small lake is prudent or even desirable. Sincerely, Julie Murphy</p>

MINUTES

**McCall City Council
Regular Meeting
McCall City Hall -- Legion Hall
VIA TEAMS Virtual
November 9, 2023**

Call to Order and Roll Call
Pledge of Allegiance
Approve the Agenda
Consent Agenda
Public Comment
Reports
Business Agenda
Adjournment

CALL TO ORDER AND ROLL CALL

Mayor Giles called the regular meeting of the McCall City Council to order at 5:30 p.m. Mayor Giles, Council Member Maciaszek, Council Member Nelson, Council Member Nielsen, and Council Member Thrower all answered roll call.

City staff members present were Anette Spickard, City Manager; Bill Nichols, City Attorney; Sarah Porter, Deputy Clerk; Erin Greaves, Communications Manager; Linda Stokes, City Treasurer; Michelle Groenevelt, Community Development Director; Delta James, Economic Development Planner; Brian Parker, City Planner; Kurt Wolf, Parks and Recreation Director; Eric McCormick, Golf Course Superintendent; Meg Lojek, Library Director; Chris Curtin, Information Systems Manager; Traci Malvich, Human Resources Manager; Dallas Palmer, Police Chief; Nathan Stewart, Public Works Director; Sean Reilly, Network Administrator; Emily Hart, Airport Manager.

Also, in attendance was John Farmer, McCall Historic Preservation Commission Chair.

Mayor Giles led the audience in the Pledge of Allegiance.

APPROVE THE AGENDA

Council Member Nelson moved to approve the agenda as submitted. Council Member Thrower seconded the motion. In a voice vote all members voted aye, and the motion carried.

CONSENT AGENDA

Staff recommended approval of the following ACTION ITEMS. All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall City Council for reading and study. The items listed are considered routine by the Council and were enacted with one motion.

1. Payroll Report for the period ending November 3, 2023
2. Warrant Register – GL
3. Warrant Register – Vendor
4. Accept the Minutes of the following Committees
 - a) Golf Advisory Committee - June 14, 2023
 - b) Parks and Recreation Advisory Committee - June 14, 2023
 - c) Golf Advisory Committee - July 12, 2023
 - d) Golf Advisory Committee – August 8, 2023
 - e) McCall Historic Preservation Committee – August 14, 2023
 - f) Library Board of Trustees – September 11, 2023
 - g) Golf Advisory Committee – September 13, 2023

5. **AB 23-211 City Licenses Report to Council Per McCall City Code**

Per McCall City Code Title 4 Chapter 9, the City Council has determined the City Clerk shall be delegated the authority to process and grant or deny all alcoholic beverage license applications, other than certain circumstances involving catering permits, which the City Clerk shall review the application for catering permit for completeness and forward said application to the Police Chief. The Police Chief upon receipt of the application shall make a recommendation to the City Clerk to approve or deny the application. Whenever the City Clerk shall determine that an application for alcoholic beverage license transfer or renewal is complete, the City Clerk shall approve or deny such application. All decisions of the City Clerk shall be reported to the City Council at the next regularly scheduled City Council meeting after such a decision. The City Clerk is also responsible for all processing of business, taxi, snow removal, pawnbroker, child daycare licenses, vendor and short-term rental permits, and public event applications. *Action: Review the license report.*

6. **AB 23-212 Request to authorize the Mayor to sign an Idaho Department of Environmental Quality Source Water Protection Program Subrecipient Agreement**

The Idaho Department of Environmental Quality (DEQ) has awarded a Source Water Protection Program grant to the City of McCall in the amount of \$24,000 to support the purchase of two environmental spill response kits and a Graphite Conductivity Cell and Controller and install a video camera to monitor and document human and boating activity at the Davis Beach surface water intake facility. The total estimated cost of the project is \$25,281. The grant will provide \$24,000 and will be matched with \$1,281 in local funds, which are available in the FY24 Public Works – Water Dept. adopted budget. *Action: Authorize the Mayor to sign the Idaho DEQ Subrecipient Agreement.*

Council Member Nielsen moved to approve the Consent Agenda as submitted. Council Member Nelson seconded the motion. In a roll call vote Council Member Nielsen, Council Member Nelson, Mayor Giles, Mayor Giles and Council Member Thrower all voted aye, and the motion carried.

PUBLIC COMMENT

Mayor Giles called for public comment at 5:34 p.m.

Two (2) written comments were received and are included as Attachment A.

There were no in-person comments received.

Hearing no comments, Mayor Giles closed the comment period at 5:35 p.m.

REPORTS

AB 23-217 McCall Historic Preservation Commission Annual Report

McCall Historic Preservation Commission Chair John Farmer presented to the City Council. As enabled by McCall City Code Title III, Chapter 20, the McCall Historic Preservation Commission (HPC) is responsible for conducting a survey of local historic properties and recommending methods necessary to preserve, maintain, and restore historic properties. The HPC also conducts education and interpretive programs and reviews nominations of properties to the National Register of Historic Places.

Chamber Report

Due to technical difficulties McCall Area Chamber of Commerce Director could not present to the City Council. The City Council had no questions regarding the memo provided.

Monthly Department Reports

Council Member Nielsen had questions for the Parks and Recreation Director Kurt Wolf regarding the changes happening at Roosevelt Park. Director Wolf reviewed the history of the park creation of the park off Roosevelt Ave and noted that further information can be brought back to the City Council at a future meeting.

Council Report

Council Member Nielsen gave an overview of the first Joint Wastewater Advisory Group meeting since 2020. Council Member Nielsen highlighted the positive engagement between the City of McCall and the Payette Lakes Recreational Water and Sewer District. (District). Additionally noted was the future appointment of an at large member to be approved by both the City Council and the District.

BUSINESS AGENDA

AB 23-218 Request to Approve Samson Trail Safe Route to School Pathway Joint Powers Agreement Between Valley County & City of McCall

Parks and Recreation Director Kurt Wolf presented to the City Council. The purpose of the Joint Powers Agreement (“JPA”) is to memorialize the agreement between Valley County and the City of McCall with respect to planning, constructing, and maintaining a non-motorized pathway along a certain section of Samson Trail Road. Samson Trail Road is a popular street with many full-time residents, and it is used as a commuting corridor for people who live in the vicinity. The Parties

have identified public safety as an important issue for people riding bikes and walking on Samson Trail Road, especially children. A non-motorized pathway on Samson Trail Road from the Payette Lakes Middle School to Pearson Lane would provide a seamless connection to existing pathways in the City of McCall in Spring Mountain Ranch and along Deinhard Lane as well as the opportunity to connect rural neighborhoods to McCall City Limits and the public infrastructure within. The proposed route for the pathway exists in an unincorporated area of Valley County and crossing over into McCall City Limits, implicating the jurisdiction of both parties. Idaho law allows for joint action by public agencies to promote efficient use of authorities thereby enabling cooperators to provide services and facilities that meet the needs of certain geographic, economic and population centers that would otherwise be limited. It is the intent and purpose of the parties to exercise these powers and authorities jointly and cooperatively as enumerated in Idaho Code §§ 67-2326 through 2330. In addition, the Valley County Pathways group has been and will continue to be an important partner in this project. Valley County Pathways supported the grant project by contracting with a professional design & engineering firm to determine the most suitable trail location and design solutions for the project.

The City Council had no questions regarding the Joint Powers Agreement.

Council Member Thrower moved to approve the Joint Powers Agreement between Valley County and the City of McCall regarding Samson Trail Pathway and authorize the Mayor to sign all necessary documents. Council Member Maciaszek seconded the motion. In a roll call vote Council Member Thrower, Council Member Maciaszek, Mayor Giles, Council Member Nelson, and Council Member Nielsen all voted aye, and the motion carried.

AB 23-215 Request to Approve MPA-23-02 – Depot Condominiums Minor Plat Amendment for The Depot Company

City Planner Brian Parker presented to the City Council an application for a Minor Plat Amendment of the Depot Condominiums to make the platted tenant spaces and common areas match the tenant spaces and common areas as utilized. The location of shared walls between units will be adjusted to properly reflect changes to the building and storage areas. During the regularly scheduled October 3, 2023, McCall Area Planning and Zoning Commission meeting, the Commission reviewed the subject application and unanimously recommended the application for approval to the McCall City Council.

Mayor Giles noted that when hearing the word condominium people think of living space, but the Depot Condominiums are not living space. Planner Parker affirmed that the condominiums are commercial condominiums intended for commercial uses. Condominium plats include any delineation of a structure in which the ownership of the structure is in common ownership with the owner's association and individual property owners purchase the air space within the walls of the building.

Council Member Maciaszek moved to approve MPA-23-02 and associated record of survey for the Depot Company with the Conditions of Approval as identified in the Findings of Fact, Conclusions of Law, and Decision as recommended by the McCall Area Planning & Zoning Commission and authorize the Mayor to sign all necessary documents. Council Member

Nelson seconded the motion. In a roll call vote Council Member Maciaszek, Council Member Nelson, Mayor Giles, Council Member Nielsen, and Council Member Thrower all voted aye, and the motion carried.

AB 23-216 Request to appoint Dawn Matus to a second term on the McCall Public Art Advisory Committee

Economic Development Planner Delta James presented to the City Council. The mission of the McCall Public Art Advisory Committee (PAAC) is to make recommendations to the City Council regarding public art projects and policies within the City of McCall. The Public Art Advisory Committee was formed in 2012 by resolution of the City Council (Resolution 12-13), consisting of five members appointed by the City Council. Resolution 19-10, adopted by the City Council on June 13, 2019, expanded the committee size from five (5) to seven (7) members. Members are appointed to three-year terms and are allowed to serve two consecutive terms. Dawn Matus was appointed to the committee in October 2020 and has completed a three-year term. Dawn is requesting to be appointed to the committee for a second three-year term to expire October 2026. Dawn has served as interim committee chair when the committee chair is unable to attend meetings and has participated in artwork selection for the Library Integrated Public Artwork project.

The City Council had no questions or concerns regarding the appointment of Dawn Matus to the PAAC.

Council Member Maciaszek moved to appoint Dawn Matus to a second three-year term on the McCall Public Art Advisory Committee, expiring October 2026. Council Member Nelson seconded the motion. In a roll call vote Council Member Maciaszek, Council Member Nelson, Mayor Giles, Council Member Nielsen, and Council Member Thrower all voted aye, and the motion carried.

AB 23-213 Request to approve reallocation of FY22 LOT funding to the Local Art for Light Boxes project

Economic Development Planner Delta James presented to the City Council. The recently completed downtown mural project was partially funded by fiscal year 2022 (FY22) Local Option Tax (LOT) collections which totaled \$17,500 on the contingency funding list. Thanks to project cost savings and funding support from the McCall Redevelopment Agency, the mural project is complete and a \$5,000 balance of FY22 LOT funding remains. During the FY23 LOT funding process, the Local Art for Light Boxes project was recommended for funding of \$10,500. However, FY23 LOT collections are less than budgeted, and this project did not receive funding. Therefore, the Public Art Advisory Committee is requesting that the remaining balance (\$5,000) of FY22 LOT funds approved for the downtown mural project be reallocated to the Local Art for Light Boxes project. The total budget for the Local Art for Light Boxes project is \$15,000, which would install vinyl wrap artwork on seven (7) light control pedestals. The McCall Redevelopment Agency has approved \$7500 for the project to date. If full project funding cannot be secured, the project will proceed with fewer light pedestal artwork installations at this time.

Council Member Nelson expressed being in favor of the reallocation if the funds get to go to the original requester. At the same time Council Member Nelson questioned having additional funds

left over and if that money were to go back into the general funding pool, should the next organization down the list be provided funding instead? The topic merits additional discussion by the City Council. Council Member Maciaszek asked if there have been any precedents on reallocation of LOT funds. Mayor Giles noted that the City Council needs to take into account the fiscal year the funding is for.

Council Member Nielsen noted that not all the projects on the FY23 list received funding. Why should the City bump a portion of the funding for a project that is a lower priority level to a project that is a higher priority on the unfunded list? Additionally, Council Member Nielsen noted hearing from the public that too much money is going to the City of McCall than is going to other community groups. LOT is a valuable tool for the City, and it would be wise to keep in mind how LOT funds are being spent in the community. The City Council additionally discussed different views on how art contributes to the community. Council Member Maciaszek suggested tabling the item. Council Member Nielsen continued to question how a reallocation is handled when there are projects that are not fully funded. Attorney Nichols noted that the topic can be brought back to the City Council at a future meeting with further information. Planner James noted that there have been several other organizations over time who have requested reallocation of unspent LOT dollars. It just so happens that the PAAC is asking for reallocation of funds to something that was partially funded. The Council in history has reallocated remaining LOT dollars to organizations for projects that were not on the next year's recommended funding list at all. The Council agreed to table the matter. No motion was made.

AB 23-214 Request to approve submittal of a Local Rural Highway Investment Program (LRHIP) Grant application for traffic signage

Economic Development Planner Delta James presented to the City Council. The Idaho Transportation Department, in conjunction with the Local Highway Technical Assistance Council (LHTAC) has developed the Local Rural Highway Investment Program (LRHIP) to assist small Idaho jurisdictions with funding to improve their roadway infrastructure through grants to support roadway construction, transportation planning, and to replace and/or upgrade warning and regulatory signs. City of McCall Public Works staff recently completed an inventory of its roadway regulatory signs and have identified locations that need additional speed limit and/or warning signs or need updated signs to meet industry standards as outlined in the Manual on Uniform Traffic Control Devices. The maximum grant request of \$30,000 will be requested to support the purchase of these signs and associated posts and bolts for new sign installation. Installation of the signs will be completed by Public Works staff.

The City Council had no questions regarding the submittal of a Local Rural Highway Investment Program Grant Application.

Council Member Nielsen moved to approve submittal of a Local Rural Highway Investment Program grant for roadway regulatory signage and authorize the Mayor to sign all necessary documents. Council Member Thrower seconded the motion. In a roll call vote Council Member Nielsen, Council Member Thrower, Mayor Giles, Council Member Maciaszek, and Council Member Nelson all voted aye, and the motion carried.

AB 23-219 Request to Approve Comment Letter to Environmental Protection Agency regarding Cinnabar Mine Site Placement on National Priorities List (NPL)

City Manager Anette Spickard presented to the City Council. On June 8, 2023, the City Council received a presentation by staff from the Environmental Protection Agency (EPA) regarding The Cinnabar Mine, located approximately 15 miles from Yellow Pine in the Payette National Forest, which is a former mercury mine that is a significant source of mercury contamination in the area. Elevated concentrations of mercury have been found in surface water, sediment, and fish in the effected watershed, which includes popular fishing destinations for tribal members and non-tribal recreational fishers. The EPA conducted a site assessment in 2017 to understand how mercury is migrating throughout the environment, and the agency has completed three partial cleanup actions at the site (in 1996, 1998, and 2004). However, to address site contamination comprehensively, a more complex, large-scale resource intensive investigation and analysis of cleanup options that preserve the natural environment while removing or mitigating the migration of contaminations is required. Due to the scale of such an effort, the EPA is considering placing the Site on the National Priorities List (NPL), using the Comprehensive Environmental Compensation and Liability Act (also known as Superfund) to obtain the necessary funding and authority to address sources of contamination.

The City Council would like a copy of the letter sent to Governor Little.

Council Member Maciaszek moved to provide feedback to staff on letter and direct the City Manager to prepare a final letter for the Mayor’s signature and submission to the EPA. Council Member Thrower seconded the motion. In a roll call vote Council Member Maciaszek, Council Member Thrower, Mayor Giles, Council Member Nelson, and Council Member Nielsen all voted aye, and the motion carried.

Upcoming Meetings Schedule Discussion

The City Council discussed upcoming meetings.

ADJOURNMENT

Without further business, Mayor Giles adjourned the meeting at 7:15 p.m.

ATTEST:

Robert S. Giles, Mayor

BessieJo Wagner, City Clerk

November 9, 2023 Regular Meeting - General Comment

For 0 Against 0 Neutral 2



Name	Address	Email	Content
Wayne Ruemmele	1008 Bitterroot Drive McCall ID 83638	wruemmele@hotmail.com	Currently, there are individual Short Term Rental (STR) CUPs underway near my home, but I'd like to make a general comment about the large short-term rentals here. These large STRs have impacts which extend far beyond the 300' limit of notification for neighborhood meetings. Noise, parking, snow removal, fire and EMS services, and incompatible uses are immediate concerns. 1. Noise affects more than the immediate neighbors and travels all the way to our homesite. We have direct experience with other STRs and the noises that leave the property all time of day and night. It is incredibly frustrating to call the police for noise several times per year. There are new wi-fi connected devices which alert the homeowner or property manager, and these should be a requirement at the minimum. 2. Parking in summer is very different than parking in winter and parking a few cars on-site is very different than parking trucks and snowmobile trailers in the street. The parking count that is submitted by applicants should be cut in half to accommodate trucks and trailers. On many occasions, the street crew has not been able to plow properly due to overflow onto the roads. 3. We all live in small-town residential neighborhoods and the character changes with these quasi-commercial uses. Please read our various community planning documents to see that McCall is intentionally designed to have nice residential neighborhoods with mountain-town character. Most of town is without sidewalks and residents walk in the quiet streets. It was not setup to have a defacto hotel, retreat, or small event center adjacent to our homes. 4. Homes are designed very differently than a hotel or motel when it comes to life-safety. The IBC is there to protect people in the event of a fire or emergency in an unfamiliar home. Fire-sprinkling, egress, and emergency egress lighting from the commercial building code should be required at a minimum given the transient nature of the occupants in an STR. I understand that STR's are allowed and have no problem with quiet enjoyment or rental of a property, but please understand that the scale which is requested makes that unlikely.
LeGrand Bennett	1610 Moore St. McCall ID 83638	lgb83638@gmail.com	Please remove all deer from the city of mccall. At our property we are in constant conflict with these animals year round. Our property does not have fences and the deer have established a travel path through our property year round. In spring we are dealing with all the droppings left on our property from deer traveling through the property. Summer we are having to spray all flowers and plantings with odorous anti-deer spray as they will consume all the flowers and plantings we invest in to enhance our landscape and buildings. In the fall we are having to chase the deer off so they do not consume our halloween pumpkins and graze on the property, adding droppings all the while. In the winter the deer, again travel through our property, establishing unwanted paths in snow areas that we maintain/shovel and leaving paths of enormous amounts of droppings. We have kids of all ages on our property year round and having non-domestic animals roaming on our property is always a concern. These animals do nothing to enhance our quality of life and are a constant nuisance. Thank you. LeGrand Bennett

Report Criteria:

Selected pay codes: 9-02 (Comp Time Available)

Title	Hours Accrued	Hours Used	Hours Remaining
Total Airport:	.00	.00	.86
Total City Clerk:	.00	.00	.39
Total City Manager:	.00	.00	16.21
Total Community Development:	.00	.00	77.91
Total Finance:	.00	10.75	43.04
Total Golf Course Maint:	55.67-	.00	54.57
Total Info systems:	.75	.00	17.88
Total Library:	.00	.00	.00
Total Local Option Tax:	.00	.00	.00
Total Parks:	9.75	.00	83.68
Total Police:	24.00	.00	195.57
Total PW/Streets:	32.25	16.50	140.74
Total Recreation Programs:	9.00	.00	65.27
Total Water Distribution:	10.50	14.00	94.34

Emp No	Name	Total Gross Amount	2-00 Overtime Emp Amt	10-00 Overtime-G Emp Amt	
	Total Airport:				
		3	5,185.70	.00	.00
	Total City Clerk:				
		3	7,521.35	.00	.00
	Total City Manager:				
		5	16,848.80	.00	.00
	Total Community Development:				
		6	17,257.87	.00	.00
	Total Council:				
		5	4,200.00	.00	.00
	Total Finance:				
		3	9,103.45	59.65	.00
	Total Golf Course Maint:				
		14	21,620.76	251.79	.00
	Total Golf Professional:				
		4	7,447.49	.00	.00
	Total Info systems:				
		2	6,770.85	.00	.00
	Total Library:				
		7	10,712.20	.00	.00
	Total Local Option Tax:				
		1	1,894.19	.00	.00
	Total Parks:				
		11	16,956.00	.00	.00
	Total Police:				
		13	41,725.23	732.78	.00
	Total PW/Streets:				
		13	35,617.43	.00	.00
	Total Recreation Programs:				
		3	8,875.43	.00	.00
	Total Water Distribution:				
		4	12,991.88	3,118.57	.00
	Total Water Treatment:				
		1	3,329.18	.00	.00
	Grand Totals:				
		98	228,057.81	4,162.79	.00

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
PAYROLL PAYABLES CLEARING						
03-22313 AFLAC						
AFLAC	721458	PREMIUMS - A/C #OLF52	10/25/23	106.52	.00	
Total 03-22313 AFLAC:				106.52	.00	
03-22314 DENTAL						
DELTA DENTAL PLAN OF IDAHO	202311	PREMIUMS - #2667-0000	10/23/23	3,352.83	.00	
Total 03-22314 DENTAL:				3,352.83	.00	
03-22323 HRA ADMIN FEE						
NUESYNERGY INC.	8167	HRA/FSA ADMIN FEES	11/13/23	370.00	.00	
Total 03-22323 HRA ADMIN FEE:				370.00	.00	
03-22326 HEALTH INSURANCE PAYABLE						
III-A TRUST	202311	PREMIUMS - #142-MCCALL	10/19/23	103,340.00	.00	
Total 03-22326 HEALTH INSURANCE PAYABLE:				103,340.00	.00	
03-22328 VISION PAYABLE						
III-A TRUST	202311	VISION PREMIUMS - #142-MCCALL	10/19/23	1,056.00	.00	
Total 03-22328 VISION PAYABLE:				1,056.00	.00	
03-22330 WILLAMETTE DENTAL						
WILLAMETTE DENTAL INSURANCE	202311	PREMIUMS - GROUP #Z1759 - ID51	11/01/23	2,748.80	.00	
Total 03-22330 WILLAMETTE DENTAL:				2,748.80	.00	
03-22375 CHILD SUPPORT						
WASHINGTON STATE SUPPORT REGI	20231117 - 1	CASE# - 2281417	11/17/23	187.38	.00	
IDAHO CHILD SUPPORT RECEIPTING	20231117 - 10	CASE# - 452852	11/17/23	162.18	.00	
IDAHO CHILD SUPPORT RECEIPTING	20231117 - 6	CASE# - 395109	11/17/23	106.62	.00	
Total 03-22375 CHILD SUPPORT:				456.18	.00	
Total :				111,430.33	.00	
Total PAYROLL PAYABLES CLEARING:				111,430.33	.00	
GENERAL FUND						
INFORMATION SYSTEMS						
10-42-150-300.0 PROFESSIONAL SERVICES						
DIGLINE INC.	0072804-IN	CITY OF MCCALL FIBER ADDITIONAL C	10/31/23	15.60	.00	
Total 10-42-150-300.0 PROFESSIONAL SERVICES:				15.60	.00	
10-42-150-620.0 COMPUTER HARDWARE						
CDW GOVERNMENT INC.	MX86759	Dell Latitude 5540 w/ touchscreen	11/07/23	1,641.81	.00	
CDW GOVERNMENT INC.	MX94367	Dell Latitude 9440 2-in-1	11/08/23	2,525.29	.00	
CDW GOVERNMENT INC.	MX94367	Dell Latitude 5540 2-in-1 13" screen	11/08/23	1,805.14	.00	
PINE COVE CONSULTING LLC	19139C	Shared costs of Verkada cameras for safet	09/30/23	7,077.15	.00	
Total 10-42-150-620.0 COMPUTER HARDWARE:				13,049.39	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total INFORMATION SYSTEMS:				13,064.99	.00	
ADMINISTRATIVE COSTS						
10-44-150-260.0 POSTAGE						
U.S. POSTAL SERVICE	20231109	POSTAGE - METER A/C #18573386	11/09/23	500.00	.00	
Total 10-44-150-260.0 POSTAGE:				500.00	.00	
10-44-150-300.0 PROFESSIONAL SERVICES						
NUESYNERGY INC.	8167	COBRA ADMIN FEES	11/13/23	75.00	.00	
NUESYNERGY INC.	8167	ANNUAL RENEWAL FEE	11/13/23	250.00	.00	
WIENHOFF DRUG TESTING	117600	ANNUAL CONSORTIUM FEE	11/15/23	75.00	.00	
Total 10-44-150-300.0 PROFESSIONAL SERVICES:				400.00	.00	
10-44-150-420.0 TRAVEL AND MEETINGS						
TREASURE VALLEY COFFEE INC.	2160:09946180	COFFEE, TEA	11/13/23	115.72	.00	
Total 10-44-150-420.0 TRAVEL AND MEETINGS:				115.72	.00	
10-44-150-450.0 CLEANING AND CUSTODIAL						
ALSCO	LBOI2126331	10 MATS	10/31/23	93.10	.00	
ALSCO	LBOI2128160	10 MATS	11/07/23	93.10	.00	
MAY HARDWARE INC.	87438	PINESOL	11/07/23	14.39	.00	
MAY HARDWARE INC.	87542	CARPET CLEANER, BRUSH	11/08/23	15.08	.00	
Total 10-44-150-450.0 CLEANING AND CUSTODIAL:				215.67	.00	
10-44-150-500.1 RENTAL - EQUIPMENT MAINTENANCE						
BOISE OFFICE EQUIPMENT	IN3803222	XEROX XALC8070H2 OVERAGE CHAR	11/13/23	62.82	.00	
Total 10-44-150-500.1 RENTAL - EQUIPMENT MAINTENANCE:				62.82	.00	
Total ADMINISTRATIVE COSTS:				1,294.21	.00	
CITY CLERK						
10-46-150-400.0 ADVERTISING/LEGAL PUBLICATIONS						
COLUMN SOFTWARE PBC	1D06BADA-0027	Ordinance 1021 1491230	09/18/23	240.77	.00	
Total 10-46-150-400.0 ADVERTISING/LEGAL PUBLICATIONS:				240.77	.00	
10-46-150-598.0 RECORDS DESTRUCTION						
SHRED-IT USA - BOISE	8005236754	SHREDDING	11/03/23	164.27	.00	
Total 10-46-150-598.0 RECORDS DESTRUCTION:				164.27	.00	
10-46-150-999.0 ELECTRONIC RECORDING FEES						
SIMPLIFILE	612086293064SFL	RECORDING FEES	11/01/23	6.50	.00	
Total 10-46-150-999.0 ELECTRONIC RECORDING FEES:				6.50	.00	
Total CITY CLERK:				411.54	.00	
COMMUNITY DEVELOPMENT						
10-48-150-250.0 MOTOR FUELS AND LUBRICANTS						
TODD, MEREDITH	20231022	MT 2030 CLIMATE CONFERENCE	10/22/23	140.83	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 10-48-150-250.0 MOTOR FUELS AND LUBRICANTS:				140.83	.00	
10-48-150-420.0 TRAVEL AND MEETINGS						
TODD, MEREDITH	20231022	MT 2030 CLIMATE CONFERENCE	10/22/23	245.80	.00	
Total 10-48-150-420.0 TRAVEL AND MEETINGS:				245.80	.00	
10-48-150-466.0 PUBLIC ART						
ROCKY MOUNTAIN SIGNS & APPAREL	25389	Printing of 4 youth artwork mural panels	10/26/23	1,796.00	.00	
Total 10-48-150-466.0 PUBLIC ART:				1,796.00	.00	
Total COMMUNITY DEVELOPMENT:				2,182.63	.00	
POLICE DEPARTMENT						
10-50-100-156.0 CLOTHING/UNIFORMS						
GALLS	026122131	STRETCH CAP	10/31/23	15.99	.00	
GALLS	026129254	PANTS CREDIT	10/31/23	657.80-	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0042	New hire uniforms	11/01/23	49.44	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0045	ALTERATIONS	09/30/23	356.10	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0046	COMFORT PANEL	11/01/23	197.07	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0047	NEW HIRE UNIFORMS	11/01/23	110.88	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0047	Uniforms for new hire	11/01/23	110.88	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0048	NEW HIRE UNIFORMS	11/01/23	49.44	.00	
UNIFORMS2GEAR INC.	INV/2023/11/0049	Uniforms for new hire	11/01/23	49.44	.00	
Total 10-50-100-156.0 CLOTHING/UNIFORMS:				281.44	.00	
10-50-150-240.0 MINOR EQUIPMENT						
PINE COVE CONSULTING LLC	19139C	Surveillance Camera System for McCall Ci	09/30/23	18,000.00	.00	
Total 10-50-150-240.0 MINOR EQUIPMENT:				18,000.00	.00	
10-50-150-300.0 PROFESSIONAL SERVICES						
SHRED-IT USA - BOISE	8005236754	SHREDDING	11/03/23	91.18	.00	
Total 10-50-150-300.0 PROFESSIONAL SERVICES:				91.18	.00	
10-50-150-420.0 TRAVEL AND MEETINGS						
MOHR, MEGAN	20231101	PICK UP UNIFORMS	11/01/23	142.79	.00	
Total 10-50-150-420.0 TRAVEL AND MEETINGS:				142.79	.00	
10-50-150-440.0 PROFESSIONAL DEVELOPMENT						
FORCE SCIENCE LTD	FSI-29965	FORCE ENCOUNTERS TUITION - ARRA	11/13/23	395.00	.00	
Total 10-50-150-440.0 PROFESSIONAL DEVELOPMENT:				395.00	.00	
10-50-150-500.0 RENTAL - OFFICE EQUIPMENT						
XEROX FINANCIAL SERVICES	5004956	PD C405	11/10/23	65.13	.00	
XEROX FINANCIAL SERVICES	5004956	PD C8145	11/10/23	336.08	.00	
Total 10-50-150-500.0 RENTAL - OFFICE EQUIPMENT:				401.21	.00	
10-50-150-520.1 RENTAL-POLICE DEPT. FACILITIES						
VALLEY COUNTY	2023 - DECEMBER	PD FACILITY LEASE	11/14/23	2,700.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 10-50-150-520.1 RENTAL-POLICE DEPT. FACILITIES:				2,700.00	.00	
10-50-150-610.0 COMPUTER SOFTWARE						
FILEONQ INC.	11407	Software maintenance and support	11/09/23	1,650.00	.00	
Total 10-50-150-610.0 COMPUTER SOFTWARE:				1,650.00	.00	
Total POLICE DEPARTMENT:				23,661.62	.00	
GRANT EXPENSES						
10-60-250-722.0 CITY MATCH - NAT'L ENDWMNT ART						
SITE SPECIFIC LLC	1344	Library public art project - total contract (at	11/02/23	12,000.00	.00	
Total 10-60-250-722.0 CITY MATCH - NAT'L ENDWMNT ART:				12,000.00	.00	
Total GRANT EXPENSES:				12,000.00	.00	
Total GENERAL FUND:				52,614.99	.00	
PUBLIC WORKS & STREETS FUND						
PUBLIC WORKS & STREETS						
24-55-150-210.0 DEPARTMENT SUPPLIES						
MAY HARDWARE INC.	87925	3V BATTERY	11/13/23	5.39	.00	
Total 24-55-150-210.0 DEPARTMENT SUPPLIES:				5.39	.00	
24-55-150-211.0 MECHANIC SHOP SUPPLIES						
ALSCO	LBOI2128149	SHOP TOWELS, COVERALLS	11/07/23	66.69	.00	
BUILDERS FIRSTSOURCE INC.	88225590	SLIP CAP	11/02/23	11.45	.00	
LAWSON PRODUCTS INC.	9311066896	SHOP PARTS	11/09/23	350.44	.00	
MAY HARDWARE INC.	86953	TORCH KIT	11/01/23	62.99	.00	
STERLING BATTERY CO.	G82170	RESTOCK BATTERIES	11/06/23	38.16	.00	
Total 24-55-150-211.0 MECHANIC SHOP SUPPLIES:				529.73	.00	
24-55-150-240.0 MINOR EQUIPMENT						
GRAINGER	9898558680	BENCH DRILL PRESS	11/08/23	530.00	.00	
Total 24-55-150-240.0 MINOR EQUIPMENT:				530.00	.00	
24-55-150-300.0 PROFESSIONAL SERVICES						
DIGLINE INC.	0072804-IN	CITY OF MCCALL PUBLIC WORKS ADDI	10/31/23	64.74	.00	
Total 24-55-150-300.0 PROFESSIONAL SERVICES:				64.74	.00	
24-55-150-420.0 TRAVEL AND MEETINGS						
WEAVER, JODI	20231020	NOVOTX CONFERENCE 2023	10/20/23	598.18	.00	
Total 24-55-150-420.0 TRAVEL AND MEETINGS:				598.18	.00	
24-55-150-440.0 PROFESSIONAL DEVELOPMENT						
WALLACE, EULLA F.	20231020	NOVOTX CONFERENCE	10/20/23	87.82	.00	
Total 24-55-150-440.0 PROFESSIONAL DEVELOPMENT:				87.82	.00	
24-55-150-450.0 CLEANING AND CUSTODIAL						
ALSCO	LBOI2128149	4 MATS	11/07/23	26.40	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
MCCALL CLEANERS	#PW20231109	COMMERCIAL CLEAN	09/30/23	320.00	.00	
MCCALL CLEANERS	20231109 1	COMMERCIAL CLEAN	11/09/23	480.00	.00	
Total 24-55-150-450.0 CLEANING AND CUSTODIAL:				826.40	.00	
24-55-150-500.1 RENTAL - EQUIPMENT MAINTENANCE						
BOISE OFFICE EQUIPMENT	IN3803222	XEROX XALC8045'S OVERAGE CHARG	11/13/23	71.57	.00	
Total 24-55-150-500.1 RENTAL - EQUIPMENT MAINTENANCE:				71.57	.00	
24-55-150-540.0 STREET REPAIR - PATCHING						
VALLEY PAVING & ASPHALT INC.	12174	SP 4 1/2 ASHP	10/31/23	760.32	.00	
VALLEY PAVING & ASPHALT INC.	12175	SP 4 1/2 ASHP	10/31/23	867.84	.00	
VALLEY PAVING & ASPHALT INC.	12176	SP 4 1/2 ASHP	10/31/23	696.00	.00	
VALLEY PAVING & ASPHALT INC.	12178	SP 4 1/2 ASHP	10/31/23	353.28	.00	
Total 24-55-150-540.0 STREET REPAIR - PATCHING:				2,677.44	.00	
24-55-150-549.0 STREET REPAIR -STREET PAINTING						
CURTIS CLEAN SWEEP INC.	22331	WOOLEY RD	10/31/23	792.24	.00	
Total 24-55-150-549.0 STREET REPAIR -STREET PAINTING:				792.24	.00	
24-55-150-580.0 REPAIRS - AUTOMOTIVE EQUIPMENT						
JERRY'S AUTO PARTS	366735	HOSE END FITTING	11/03/23	27.72	.00	
JERRY'S AUTO PARTS	367159	WARRANTY	11/06/23	95.77-	.00	
JERRY'S AUTO PARTS	367589	SEALER	11/08/23	34.31	.00	
LAWSON PRODUCTS INC.	9311059656	PLOW BOLT	11/07/23	71.50	.00	
LES SCHWAB TIRE CENTERS	12500416476	Tires For Equipment #1	10/27/23	2,548.58	.00	
LES SCHWAB TIRE CENTERS	12500416477	SERVICE CALL - GRADER	10/27/23	584.77	.00	
MAY HARDWARE INC.	87502	ANCHOR SHACKLE	11/07/23	34.18	.00	
NORTHWEST EQUIPMENT SALES INC	333645BP	GLASS	11/07/23	275.39	.00	
NORTHWEST EQUIPMENT SALES INC	334248BP	HOSE HOLDER	11/06/23	17.95	.00	
NORTHWEST EQUIPMENT SALES INC	334389BP	STROBE	11/10/23	807.48	.00	
NORTHWEST EQUIPMENT SALES INC	334525BP	STACK 5", CLAMP BAND	11/10/23	94.39	.00	
Total 24-55-150-580.0 REPAIRS - AUTOMOTIVE EQUIPMENT:				4,400.50	.00	
24-55-350-812.0 CAT LEASE - PRINCIPAL						
SUMMIT NATIONAL BANK	14564 11-13-23	2022 CAT 246D3 SKID STEER LOADER	11/13/23	3,933.36	.00	
SUMMIT NATIONAL BANK	14598 11-13-23	2022 CAT 950M WHEEL LOADER SN#J1	11/13/23	21,723.70	.00	
Total 24-55-350-812.0 CAT LEASE - PRINCIPAL:				25,657.06	.00	
24-55-350-813.0 CAT LEASE - INTEREST						
SUMMIT NATIONAL BANK	14564 11-13-23	2022 CAT 246D3 SKID STEER LOADER	11/13/23	2,350.70	.00	
SUMMIT NATIONAL BANK	14598 11-13-23	2022 CAT 950M WHEEL LOADER SN#J1	11/13/23	12,129.44	.00	
Total 24-55-350-813.0 CAT LEASE - INTEREST:				14,480.14	.00	
Total PUBLIC WORKS & STREETS:				50,721.21	.00	
Total PUBLIC WORKS & STREETS FUND:				50,721.21	.00	
LIBRARY FUND						
LIBRARY DEPARTMENT						
25-57-150-240.0 MINOR EQUIPMENT						
AMAZON CAPITAL SERVICES INC	19TN-GT34-WK3J	WIFI ADAPTOR	10/31/23	36.04	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 25-57-150-240.0 MINOR EQUIPMENT:				36.04	.00	
25-57-150-435.0 BOOKS/PUBLICATIONS/SUBSCRIPTS						
AMAZON CAPITAL SERVICES INC	113L-1PCL-X1T7	BOOKS	10/31/23	17.08	.00	
AMAZON CAPITAL SERVICES INC	13CY-7WX7-X4FN	BOOKS	11/14/23	15.87	.00	
AMAZON CAPITAL SERVICES INC	16QP-1799-44V1	BOOKS	10/31/23	76.97	.00	
AMAZON CAPITAL SERVICES INC	19TN-GT34-WK3J	BOOKS	10/31/23	31.95	.00	
AMAZON CAPITAL SERVICES INC	1NP7-GRDG-XFRN	BOOK	11/14/23	14.49	.00	
BAKER & TAYLOR BOOKS	2037916353	BOOKS	11/03/23	266.51	.00	
BAKER & TAYLOR BOOKS	2037923709	BOOKS	11/06/23	144.28	.00	
Total 25-57-150-435.0 BOOKS/PUBLICATIONS/SUBSCRIPTS:				567.15	.00	
25-57-150-462.0 AUDIO VISUAL MATERIALS						
AMAZON CAPITAL SERVICES INC	16QP-1799-44V1	AUDIO VISUAL MATERIALS	10/31/23	9.96	.00	
AMAZON CAPITAL SERVICES INC	1DXR-NTD3-X9YF	AUDIO VISUAL MATERIALS	11/14/23	9.99	.00	
Total 25-57-150-462.0 AUDIO VISUAL MATERIALS:				19.95	.00	
25-57-150-462.1 VIDEO CIRCUIT LIBRARY						
AMAZON CAPITAL SERVICES INC	1137-RNM9-XKNK	VIDEO CIRCUIT LIBRARY	10/31/23	14.99	.00	
AMAZON CAPITAL SERVICES INC	1DXR-NTD3-X9YF	VIDEO CIRCUIT LIBRARY	11/14/23	9.99	.00	
Total 25-57-150-462.1 VIDEO CIRCUIT LIBRARY:				24.98	.00	
25-57-150-465.0 CHILDREN'S BOOKS						
AMAZON CAPITAL SERVICES INC	13CY-7WX7-X4FN	CHILDREN'S BOOKS	11/14/23	30.97	.00	
AMAZON CAPITAL SERVICES INC	16QP-1799-44V1	CHILDREN'S BOOKS	10/31/23	18.78	.00	
AMAZON CAPITAL SERVICES INC	1PWD-HH1N-YLYX	CHILDREN'S BOOKS	11/14/23	49.13	.00	
BAKER & TAYLOR BOOKS	2037923709	CHILDREN'S BOOK	11/06/23	156.64	.00	
Total 25-57-150-465.0 CHILDREN'S BOOKS:				255.52	.00	
25-57-150-467.0 YOUNG ADULT MATERIALS						
AMAZON CAPITAL SERVICES INC	113L-1PCL-X1T7	YOUNG ADULT MATERIALS	10/31/23	26.28	.00	
Total 25-57-150-467.0 YOUNG ADULT MATERIALS:				26.28	.00	
25-57-150-469.0 PROGRAMMING SUPPLIES						
ALBERTSONS LLC	00431634-110123-3	PROGRAMMING SUPPLIES	11/01/23	5.78	.00	
Total 25-57-150-469.0 PROGRAMMING SUPPLIES:				5.78	.00	
25-57-150-500.1 RENTAL - EQUIPMENT MAINTENANCE						
BOISE OFFICE EQUIPMENT	IN3803222	XEROX XALC8045'S OVERAGE CHARG	11/13/23	56.97	.00	
Total 25-57-150-500.1 RENTAL - EQUIPMENT MAINTENANCE:				56.97	.00	
Total LIBRARY DEPARTMENT:				992.67	.00	
Total LIBRARY FUND:				992.67	.00	
RECREATION FUND						
RECREATION - PROGRAMS						
28-58-150-210.0 DEPARTMENT SUPPLIES						
ALBERTSONS LLC	00723215-110823-3	NO SCHOOL FUN DAY SNACKS	11/08/23	54.33	.00	
ALBERTSONS LLC	00809186-103123-3	TRUNK OR TREAT	10/31/23	15.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
RIDLEY'S FAMILY MARKETS	00223921216-463	TRUNK OR TREAT	10/30/23	31.96	.00	
Total 28-58-150-210.0 DEPARTMENT SUPPLIES:				101.29	.00	
28-58-150-300.0 PROFESSIONAL SERVICES						
ELK CREEK BAPTIST CHURCH INC.	124	GIRLS BASKETBALL - USE OF GYM	11/07/23	160.00	.00	
Total 28-58-150-300.0 PROFESSIONAL SERVICES:				160.00	.00	
28-58-150-420.0 TRAVEL AND MEETINGS						
BORK, STEFANIE	20231104	REQUESTED PICK UP SHOP STRANGE	11/04/23	71.39	.00	
Total 28-58-150-420.0 TRAVEL AND MEETINGS:				71.39	.00	
28-58-150-490.0 HEAT, LIGHTS, AND UTILITIES						
TREASURE VALLEY TRANSIT INC.	505	50% OCTOBER 2023 UTILITIES IN MCC	10/31/23	290.92	.00	
Total 28-58-150-490.0 HEAT, LIGHTS, AND UTILITIES:				290.92	.00	
28-58-150-500.0 RENTAL - OFFICE EQUIPMENT						
XEROX FINANCIAL SERVICES	5004956	PARKS C405	11/10/23	107.10	.00	
Total 28-58-150-500.0 RENTAL - OFFICE EQUIPMENT:				107.10	.00	
28-58-150-580.0 REPAIRS - AUTOMOTIVE EQUIPMENT						
ROCKY MOUNTAIN SIGNS & APPAREL	25416	Subaru rewrap and design overdue for the	10/31/23	1,787.00	.00	
Total 28-58-150-580.0 REPAIRS - AUTOMOTIVE EQUIPMENT:				1,787.00	.00	
Total RECREATION - PROGRAMS:				2,517.70	.00	
RECREATION - PARKS						
28-59-150-210.0 DEPARTMENT SUPPLIES						
BUILDERS FIRSTSOURCE INC.	88210535	ANTI FREEZE	10/31/23	43.96	.00	
LAWSON PRODUCTS INC.	9311048967	4DRUM INLINESPILL CONTAINMENT	11/02/23	688.20	.00	
MAY HARDWARE INC.	85595	STEEL WOOL, PAINT BRUSH SET	10/17/23	17.98	.00	
MAY HARDWARE INC.	86828	GLOVES, ELBOW	10/31/23	50.36	.00	
MAY HARDWARE INC.	86833	GLOVE, THUMB GLOVE	10/31/23	26.98	.00	
MAY HARDWARE INC.	86893	PARACORD, POLY FILM	10/31/23	86.37	.00	
MAY HARDWARE INC.	87121	BIT SET	11/02/23	21.59	.00	
MAY HARDWARE INC.	87142	REBBER MALLETS	11/03/23	45.86	.00	
MAY HARDWARE INC.	87186	TUBE BRAID	11/03/23	12.55	.00	
MAY HARDWARE INC.	87196	BAG OF ROGS, PAINT TRAY, 2 GAL PAI	11/03/23	94.27	.00	
MAY HARDWARE INC.	87224	CUT OFF WHEEL	11/03/23	9.99	.00	
MAY HARDWARE INC.	87227	UTILITY KNIFE, CLU CHALK	11/03/23	20.68	.00	
MAY HARDWARE INC.	87430	LAUNDRY DTRGNT, DRYR SHTS, DOO	11/07/23	43.55	.00	
MAY HARDWARE INC.	87448	GORILLA GLUE, NITRILE GLOVES	11/07/23	14.56	.00	
MAY HARDWARE INC.	87536	RECIP BLDS	11/08/23	37.78	.00	
MAY HARDWARE INC.	87538	US FLAG	11/08/23	27.97	.00	
MAY HARDWARE INC.	87560	GREASE, WHT LTX, CABLE TIES, DETAI	11/08/23	66.88	.00	
MAY HARDWARE INC.	87570	ROLLER CVR, P&P SAT DW	11/08/23	46.42	.00	
MAY HARDWARE INC.	87706	STL TUBE	11/09/23	66.58	.00	
MAY HARDWARE INC.	87872	TECH GLOVE	11/11/23	22.49	.00	
MAY HARDWARE INC.	87912	PRIMER, JMBO KTR P/D RLR FRM	11/13/23	31.28	.00	
MAY HARDWARE INC.	87958	GREAT STUFF, SANDSPONG, NYLON B	11/13/23	18.62	.00	
MAY HARDWARE INC.	88043	GLOVE, SANDING SPONGE, SNAP KNIF	11/14/23	25.69	.00	
MAY HARDWARE INC.	88077	MISC OTHER VENDOR PARTS	11/14/23	24.47	.00	
SHERWIN-WILLIAMS CO., THE	1737-7	POWERHOUSE WHITE	11/08/23	31.92	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
SHERWIN-WILLIAMS CO., THE	2876-8	SHOP PAINT	11/03/23	48.85	.00	
Total 28-59-150-210.0 DEPARTMENT SUPPLIES:				1,625.85	.00	
28-59-150-211.0 BATHROOM SUPPLIES						
ALSCO	LBOI2126328	6 MATS	10/31/23	39.69	.00	
ALSCO	LBOI2128158	6 MATS	11/07/23	41.69	.00	
Total 28-59-150-211.0 BATHROOM SUPPLIES:				81.38	.00	
28-59-150-300.0 PROFESSIONAL SERVICES						
DIGLINE INC.	0072804-IN	CITY OF MCCALL PARKS ADDITIONAL	10/31/23	9.75	.00	
Total 28-59-150-300.0 PROFESSIONAL SERVICES:				9.75	.00	
28-59-150-400.0 ADVERTISING/LEGAL PUBLICATIONS						
COLUMN SOFTWARE PBC	1D06BADA-0035	SMALL CONCESSIONAIRE PROPOSAL	11/14/23	29.48	.00	
Total 28-59-150-400.0 ADVERTISING/LEGAL PUBLICATIONS:				29.48	.00	
28-59-150-510.0 RENTAL - MINOR EQUIPMENT						
TATES RENTS INC	1793229-7	AIR COMPRESSOR	11/01/23	141.12	.00	
Total 28-59-150-510.0 RENTAL - MINOR EQUIPMENT:				141.12	.00	
28-59-150-521.0 EQUIPMENT LEASE						
CATERPILLAR FINANCIAL SERVICES	34630992	CATERPILLAR SKID STEER LOADER - 2	11/26/23	7,994.66	.00	
Total 28-59-150-521.0 EQUIPMENT LEASE:				7,994.66	.00	
28-59-150-570.0 REPAIRS - BUILDING AND GROUNDS						
BUILDERS FIRSTSOURCE INC.	88206865	SNAP OFF KNIFE, FOAMULAR 250 SE	10/30/23	158.07	.00	
BUILDERS FIRSTSOURCE INC.	88217261	CDX FIR RTD	11/01/23	113.15	.00	
BUILDERS FIRSTSOURCE INC.	88228024	FLT TITEN TRBO, FURRING STRIP	11/03/23	75.78	.00	
BUILDERS FIRSTSOURCE INC.	88231173	CAULK ACRYLIC	11/03/23	19.78	.00	
FERGUSON ENTERPRISES #3007	2009343	1.6 AV CLST REP KIT	10/30/23	99.16	.00	
VALLEY PAVING & ASPHALT INC.	12173	2" CRUSHED DRAIN ROCK	10/31/23	83.52	.00	
VALLEY PAVING & ASPHALT INC.	12177	2" CRUSHED DRAIN ROCK	10/31/23	353.40	.00	
Total 28-59-150-570.0 REPAIRS - BUILDING AND GROUNDS:				902.86	.00	
28-59-150-580.0 REPAIRS - AUTOMOTIVE EQUIPMENT						
LES SCHWAB TIRE CENTERS	12500414216	FLAT REPAIR	10/12/23	30.00	.00	
LES SCHWAB TIRE CENTERS	12500414535	DISMOUNT & MOUNT TIRES	10/14/23	107.92	.00	
Total 28-59-150-580.0 REPAIRS - AUTOMOTIVE EQUIPMENT:				137.92	.00	
28-59-150-590.0 REPAIRS - OTHER EQUIPMENT						
JERRY'S AUTO PARTS	367345	PANEL FILTER, V BELTS	11/07/23	124.47	.00	
JERRY'S AUTO PARTS	367383	BOXED MINIATURES, BELT DRESSING	11/07/23	4.89	.00	
JERRY'S AUTO PARTS	367407	POWER UNIT ASSEMBLY	11/07/23	295.98	.00	
JERRY'S AUTO PARTS	367612	BULB	11/08/23	2.36	.00	
JERRY'S AUTO PARTS	368363	AIR FILTER, LIP SEAL	11/13/23	77.49	.00	
LES SCHWAB TIRE CENTERS	12500415995	LACLEDE CROSS CHAIN	10/25/23	300.56	.00	
LES SCHWAB TIRE CENTERS	12500416158	WINTER CHANGEOVER	10/25/23	215.86	.00	
Total 28-59-150-590.0 REPAIRS - OTHER EQUIPMENT:				1,021.61	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total RECREATION - PARKS:				11,944.63	.00	
Total RECREATION FUND:				14,462.33	.00	
AIRPORT FUND						
AIRPORT DEPARTMENT						
29-56-150-250.0 MOTOR FUELS AND LUBRICANTS						
DIAMOND FUEL & FEED SUPPLY INC.	32018	Dyed Diesel for Airport Operations	11/09/23	3,083.33	.00	
Total 29-56-150-250.0 MOTOR FUELS AND LUBRICANTS:				3,083.33	.00	
29-56-150-350.0 ENGINEER SERVICES						
ARDURRA GROUP INC	05113 - 14148	CONTINUING SERVICE AGREEMENT	11/08/23	1,200.00	.00	
Total 29-56-150-350.0 ENGINEER SERVICES:				1,200.00	.00	
29-56-150-500.0 RENTAL - OFFICE EQUIPMENT						
XEROX FINANCIAL SERVICES	5004956	AIRPORT C405	11/10/23	75.45	.00	
Total 29-56-150-500.0 RENTAL - OFFICE EQUIPMENT:				75.45	.00	
29-56-150-590.0 REPAIRS - AIRPORT EQUIPMENT						
LES SCHWAB TIRE CENTERS	12500414707	ROTATE PLOW TRUCK TIRES	10/16/23	399.90	.00	
Total 29-56-150-590.0 REPAIRS - AIRPORT EQUIPMENT:				399.90	.00	
Total AIRPORT DEPARTMENT:				4,758.68	.00	
GRANT EXPENSES						
29-60-250-730.0 FEDERAL - AIP PROJECT						
ARDURRA GROUP INC	220656 - 9	TXY E RECONSTRUCTION	11/08/23	5,181.76	.00	
Total 29-60-250-730.0 FEDERAL - AIP PROJECT:				5,181.76	.00	
29-60-250-731.0 FEDERAL - CITY MATCH (AIP)						
ARDURRA GROUP INC	220656 - 9	TXY E RECONSTRUCTION	11/08/23	575.75	.00	
Total 29-60-250-731.0 FEDERAL - CITY MATCH (AIP):				575.75	.00	
Total GRANT EXPENSES:				5,757.51	.00	
Total AIRPORT FUND:				10,516.19	.00	
LOCAL OPTION TAX FUND						
LOCAL OPTION TAX DEPARTMENT						
31-49-200-707.0 E. DEINHARD LANE RECON.						
GRANITE EXCAVATION INC.	DEINHARD - SH-5	Construction contract for Deinhard (Sams	11/09/23	1,072,632.66	.00	
Total 31-49-200-707.0 E. DEINHARD LANE RECON.:				1,072,632.66	.00	
31-49-200-708.0 DAVIS-THOMPSON-SMB-MISSION						
GRANITE EXCAVATION INC.	DAVIS - SPRING M	Construction Contract for Spring Mtn. Blvd	11/10/23	25,875.03	.00	
Total 31-49-200-708.0 DAVIS-THOMPSON-SMB-MISSION:				25,875.03	.00	
Total LOCAL OPTION TAX DEPARTMENT:				1,098,507.69	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total LOCAL OPTION TAX FUND:				1,098,507.69	.00	
GOLF FUND						
GOLF OPERATIONS DEPARTMENT						
54-85-150-210.0 DEPARTMENT SUPPLIES						
ALSCO	LBOI2128153	SHOP TOWELS, LAUNDRY BAG, COVE	11/07/23	48.69	.00	
ALSCO	LBOI2129954	SHOP TOWELS, LAUNDRY BAG, COVE	11/14/23	48.69	.00	
MAY HARDWARE INC.	87344	SIMPLE GREEN	11/06/23	12.99	.00	
MAY HARDWARE INC.	87633	OTHER VENDOR PARTS	11/09/23	34.99	.00	
MAY HARDWARE INC.	87673	ORANGE PAINT, WOODCUTTER B&C OI	11/09/23	36.94	.00	
SAFETY-KLEEN SYSTEMS INC	92918152	RECOVERY FEE, WASHER SERVICE	10/27/23	151.00	.00	
Total 54-85-150-210.0 DEPARTMENT SUPPLIES:				333.30	.00	
54-85-150-222.0 CHEMICALS						
WILBUR-ELLIS COMPANY LLC	16154577	Headway Granular 30 bags	11/07/23	1,610.00	.00	
Total 54-85-150-222.0 CHEMICALS:				1,610.00	.00	
54-85-150-250.0 MOTOR FUELS AND LUBRICANTS						
TATES RENTS INC	1793716-7	LP GAS	11/01/23	17.56	.00	
Total 54-85-150-250.0 MOTOR FUELS AND LUBRICANTS:				17.56	.00	
54-85-150-440.0 PROFESSIONAL DEVELOPMENT						
GCSA	3367	ANNUAL DUES - E. MCCORMICK CLAS	11/09/23	135.00	.00	
Total 54-85-150-440.0 PROFESSIONAL DEVELOPMENT:				135.00	.00	
54-85-150-500.0 RENTAL - OFFICE EQUIPMENT						
XEROX FINANCIAL SERVICES	5023061	C605 LEASE PAYMENT	11/13/23	138.54	.00	
Total 54-85-150-500.0 RENTAL - OFFICE EQUIPMENT:				138.54	.00	
54-85-150-521.0 EQUIPMENT LEASE						
PNC EQUIPMENT FINANCE LLC	1828755	RENTAL PAYMENT	11/01/23	60,950.00	.00	
Total 54-85-150-521.0 EQUIPMENT LEASE:				60,950.00	.00	
54-85-150-522.0 PORTABLE TOILET-RENT CONTRACT						
ASAP PORTABLES CO.	20231108	Portable toilet rental for FY23	11/08/23	1,037.50	.00	
Total 54-85-150-522.0 PORTABLE TOILET-RENT CONTRACT:				1,037.50	.00	
54-85-150-570.0 REPAIRS - BUILDING AND GROUNDS						
A-1 HEATING & AIR	560191	UNIT HEATER REPAIR	10/30/23	149.00	.00	
MAY HARDWARE INC.	87490	PVC PIPE	11/07/23	23.97	.00	
Total 54-85-150-570.0 REPAIRS - BUILDING AND GROUNDS:				172.97	.00	
54-85-150-575.0 REPAIRS - CLUBHOUSE						
A-1 HEATING & AIR	561295	MEDIA FILTER CARTRIDGES	11/08/23	80.00	.00	
MAY HARDWARE INC.	87178	PAINT SUPPLIES	11/03/23	216.72	.00	
MAY HARDWARE INC.	87269	CEILING PAINT	11/04/23	184.49	.00	
Total 54-85-150-575.0 REPAIRS - CLUBHOUSE:				481.21	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
54-85-150-590.0 REPAIRS - OTHER EQUIPMENT						
C & B OPERATIONS LLC	123555087	2 TRANSMISSIONS	08/30/23	1,230.92	.00	
C & B OPERATIONS LLC	12367881	TRANSMISSION	09/07/23	615.46-	.00	
C & B OPERATIONS LLC	12477242	TRANSMISSION	11/07/23	615.46-	.00	
McCALL DELIVERY SERVICE	2023-0906	DELIVERIES	11/07/23	191.00	.00	
Total 54-85-150-590.0 REPAIRS - OTHER EQUIPMENT:				191.00	.00	
54-85-350-805.0 CAT LEASE PRINCIPAL						
SUMMIT NATIONAL BANK	14565 11-13-23	2022 CAT 259D3 MULTI TERRAIN LOAD	11/13/23	3,389.19	.00	
Total 54-85-350-805.0 CAT LEASE PRINCIPAL:				3,389.19	.00	
54-85-350-806.0 CAT LEASE INTEREST						
SUMMIT NATIONAL BANK	14565 11-13-23	2022 CAT 259D3 MULTI TERRAIN LOAD	11/13/23	2,455.19	.00	
Total 54-85-350-806.0 CAT LEASE INTEREST:				2,455.19	.00	
Total GOLF OPERATIONS DEPARTMENT:				70,911.46	.00	
Total GOLF FUND:				70,911.46	.00	
WATER FUND						
60-22541 HYDRANT METER DEPOSITS						
FALVEY'S LLC	20231106	REFUND OF HYDRANT METER NO WAT	11/06/23	1,400.00	.00	
GRANITE EXCAVATION INC.	20231106	REFUND - FIRE HYDRANT METER DEP	11/06/23	1,400.00	.00	
Total 60-22541 HYDRANT METER DEPOSITS:				2,800.00	.00	
Total :				2,800.00	.00	
WATER FUND REVENUE						
60-30-020-400.0 ANNUAL WATER TRUCK FEE						
GRANITE EXCAVATION INC.	20231106	REFUND - FIRE HYDRANT METER DEP	11/06/23	100.00	.00	
Total 60-30-020-400.0 ANNUAL WATER TRUCK FEE:				100.00	.00	
Total WATER FUND REVENUE:				100.00	.00	
WATER DISTRIBUTION						
60-64-150-200.0 OFFICE SUPPLIES						
IDAHO TRANSPORTATION DEPARTME	C14530	2007 FORD F250 REGISTRATION RENE	11/15/23	23.00	.00	
Total 60-64-150-200.0 OFFICE SUPPLIES:				23.00	.00	
60-64-150-210.0 DEPARTMENT SUPPLIES						
MAY HARDWARE INC.	87378	PIPE WRENCH	11/06/23	70.18	.00	
MAY HARDWARE INC.	87439	HOSE WASHER, TY WIRE	11/07/23	23.54	.00	
MAY HARDWARE INC.	87569	AAA BATTERIES	11/08/23	39.98	.00	
MAY HARDWARE INC.	87718	ELECTRIC TAPE	11/09/23	15.46	.00	
MAY HARDWARE INC.	88009	5 SINGLE CUT KEY	11/13/23	13.45	.00	
Total 60-64-150-210.0 DEPARTMENT SUPPLIES:				162.61	.00	
60-64-150-300.0 PROFESSIONAL SERVICES						
DIGLINE INC.	0072804-IN	CITY OF MCCALL WATER ADDITIONAL	10/31/23	258.96	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 60-64-150-300.0 PROFESSIONAL SERVICES:				258.96	.00	
60-64-150-302.0 LABORATORY TESTING						
ANALYTICAL LABORATORIES INC.	2307875	LABORATORY TESTING	10/31/23	95.00	.00	
Total 60-64-150-302.0 LABORATORY TESTING:				95.00	.00	
60-64-150-350.0 ENGINEER SERVICES						
CLEAR SOLUTIONS ENGINEERING	318	WATER STORAGE TANK PER	09/30/23	1,785.00	.00	
Total 60-64-150-350.0 ENGINEER SERVICES:				1,785.00	.00	
60-64-150-440.0 PROFESSIONAL DEVELOPMENT						
IDAHO RURAL WATER ASSOCIATION	#4764	MOTOR CONTROLS & VARIABLE FREQ	05/02/23	720.00	.00	
Total 60-64-150-440.0 PROFESSIONAL DEVELOPMENT:				720.00	.00	
60-64-200-703.0 WATER LINE IMPR. - LOT STREETS						
GRANITE EXCAVATION INC.	DEINHARD - SH-5	Construction contract for Deinhard (Sams	11/09/23	44,951.69	.00	
GRANITE EXCAVATION INC.	DEINHARD - SH-5	Construction contract for Deinhard (Sams	11/09/23	14,388.54	.00	
Total 60-64-200-703.0 WATER LINE IMPR. - LOT STREETS:				59,340.23	.00	
60-64-350-815.0 CAT LEASE PRINCIPAL						
SUMMIT NATIONAL BANK	14597 11-13-23	2022 CAT 420XE BACKHOE LOADER SN	11/13/23	8,932.81	.00	
Total 60-64-350-815.0 CAT LEASE PRINCIPAL:				8,932.81	.00	
60-64-350-816.0 CAT LEASE INTEREST						
SUMMIT NATIONAL BANK	14597 11-13-23	2022 CAT 420XE BACKHOE LOADER SN	11/13/23	5,508.14	.00	
Total 60-64-350-816.0 CAT LEASE INTEREST:				5,508.14	.00	
Total WATER DISTRIBUTION:				76,825.75	.00	
WATER TREATMENT						
60-65-150-200.0 OFFICE SUPPLIES						
USABLUBOOK	INV00183453	POST IT CUBE	11/01/23	.00	.00	
Total 60-65-150-200.0 OFFICE SUPPLIES:				.00	.00	
60-65-150-210.0 DEPARTMENT SUPPLIES						
ALSCO	LBOI2124492	SHOP TOWELS, DUST MOP, WET MOP,	10/24/23	67.91	.00	
ALSCO	LBOI2126320	NAME EMBLEM	10/31/23	31.25	.00	
ALSCO	LBOI2128154	SHOP TOWELS, DUST MOP, WET MOP,	11/07/23	67.91	.00	
MAY HARDWARE INC.	85007	PADLOCKS	10/10/23	336.40	.00	
MAY HARDWARE INC.	87645	DECK SCREW, BLUchalk, FLAG KIT	11/09/23	83.67	.00	
MAY HARDWARE INC.	87908	LAUNDRY DETERGENT, 2 CYCLE OIL	11/13/23	40.92	.00	
Total 60-65-150-210.0 DEPARTMENT SUPPLIES:				628.06	.00	
60-65-150-300.0 PROFESSIONAL SERVICES						
CARRIER CORPORATION	90313329	Continuance of Carrier Service Agreement	10/01/23	1,042.52	.00	
Total 60-65-150-300.0 PROFESSIONAL SERVICES:				1,042.52	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
60-65-150-350.0 ENGINEER SERVICES						
CLEAR SOLUTIONS ENGINEERING	317	Task Order TO-23-02: Misc. Water Engine	11/06/23	935.00	.00	
CONTROL ENGINEERS PA	29967	Control Engineers General Services Agree	11/01/23	437.50	.00	
Total 60-65-150-350.0 ENGINEER SERVICES:				1,372.50	.00	
60-65-150-400.0 ADVERTISING/LEGAL PUBLICATIONS						
COLUMN SOFTWARE PBC	1D06BADA-0022	2023 TURBIDITY 1455240	09/13/23	37.62	.00	
Total 60-65-150-400.0 ADVERTISING/LEGAL PUBLICATIONS:				37.62	.00	
60-65-150-490.0 HEAT, LIGHTS, AND UTILITIES						
ED STAUB & SONS PETROLEUM INC	9962310	PROPANE	11/13/23	2,790.54	.00	
Total 60-65-150-490.0 HEAT, LIGHTS, AND UTILITIES:				2,790.54	.00	
Total WATER TREATMENT:				5,871.24	.00	
Total WATER FUND:				85,596.99	.00	
Grand Totals:				1,495,753.86	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
PAYROLL PAYABLES CLEARING						
03-22315 COLONIAL						
COLONIAL LIFE & ACCIDENT	32897251101192	PREMIUMS - BCN E3289725	11/01/23	482.24	.00	
Total 03-22315 COLONIAL:				482.24	.00	
03-22333 UNUM LIFE INSURANCE						
MUTUAL OF OMAHA INSURANCE CO	001592004439	GPPPCDCG 001A	09/27/23	1,221.65	.00	
MUTUAL OF OMAHA INSURANCE CO	001596578444	GOOOCDCG 001A	11/01/23	1,227.40	.00	
Total 03-22333 UNUM LIFE INSURANCE:				2,449.05	.00	
Total :				2,931.29	.00	
Total PAYROLL PAYABLES CLEARING:				2,931.29	.00	
GENERAL FUND						
MAYOR & COUNCIL						
10-41-150-275.0 PUBLIC RELATIONS						
STAR NEWS, THE	124717	MCCALL CITY COUNCIL 10/12,10/19,10/	10/31/23	1,020.00	.00	
STAR NEWS, THE	124717	CITY OF MCCALL HALLOWEEN	10/31/23	180.00	.00	
Total 10-41-150-275.0 PUBLIC RELATIONS:				1,200.00	.00	
Total MAYOR & COUNCIL:				1,200.00	.00	
INFORMATION SYSTEMS						
10-42-150-465.0 COMMUNICATIONS - ETHERNET						
SPARKLIGHT	20231108	INTERNET - ACCT # 112663760 NOVEM	11/08/23	116.72	.00	
Total 10-42-150-465.0 COMMUNICATIONS - ETHERNET:				116.72	.00	
10-42-150-610.0 COMPUTER SOFTWARE						
XERILLION CORPORATION	INV-04065-R9T1N2	Global PO to cover monthly expenses for	10/31/23	3,430.77	.00	
Total 10-42-150-610.0 COMPUTER SOFTWARE:				3,430.77	.00	
Total INFORMATION SYSTEMS:				3,547.49	.00	
ADMINISTRATIVE COSTS						
10-44-150-310.0 ATTORNEY - CIVIL NON-REIMB						
WHITE PETERSON P.A.	159587	GENERAL CITY ADMIN	10/31/23	16,553.17	.00	
Total 10-44-150-310.0 ATTORNEY - CIVIL NON-REIMB:				16,553.17	.00	
10-44-150-450.0 CLEANING AND CUSTODIAL						
ALSCO	LBOI2129961	10 MATS	11/14/23	93.10	.00	
Total 10-44-150-450.0 CLEANING AND CUSTODIAL:				93.10	.00	
10-44-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-182601	WATER	11/12/23	217.28	.00	
Total 10-44-150-490.0 HEAT, LIGHTS, AND UTILITIES:				217.28	.00	
10-44-150-490.2 WF HOUSING - TOASTER HOUSE						
MCCALL, CITY OF	1123-166031	WATER	11/12/23	52.63	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 10-44-150-490.2 WF HOUSING - TOASTER HOUSE:				52.63	.00	
10-44-150-500.0 RENTAL - OFFICE EQUIPMENT						
BOISE OFFICE EQUIPMENT	IN3812040	XEROX X845H OVERAGE CHARGE FIN	11/16/23	252.13	.00	
U.S. BANK EQUIPMENT FINANCE	515707024	CITY HALL XEROX COPIER - SN 6TB45	11/16/23	247.39	.00	
Total 10-44-150-500.0 RENTAL - OFFICE EQUIPMENT:				499.52	.00	
Total ADMINISTRATIVE COSTS:				17,415.70	.00	
CITY CLERK						
10-46-150-230.0 PRINTING AND BINDING						
AMERICAN LEGAL PUBLISHING	29080	Ordinance codification 1019, 1020, 1022	11/13/23	1,826.55	.00	
Total 10-46-150-230.0 PRINTING AND BINDING:				1,826.55	.00	
Total CITY CLERK:				1,826.55	.00	
POLICE DEPARTMENT						
10-50-150-240.0 MINOR EQUIPMENT						
GANS & PUGH ASSOCIATES INC	6491-2301	SURVEILLANCE CAMERA SYSTEM	09/12/23	12,657.00	.00	
Total 10-50-150-240.0 MINOR EQUIPMENT:				12,657.00	.00	
10-50-150-260.0 POSTAGE						
UNITED PARCEL SERVICE	8459E3453	SHIPPING	11/11/23	50.53	.00	
Total 10-50-150-260.0 POSTAGE:				50.53	.00	
Total POLICE DEPARTMENT:				12,707.53	.00	
Total GENERAL FUND:				36,697.27	.00	
PUBLIC WORKS & STREETS FUND						
PUBLIC WORKS & STREETS						
24-55-150-400.0 ADVERTISING/LEGAL PUBLICATIONS						
STAR NEWS, THE	124717	STREETS HIRING	10/31/23	195.00	.00	
Total 24-55-150-400.0 ADVERTISING/LEGAL PUBLICATIONS:				195.00	.00	
24-55-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-183351	WATER	11/12/23	54.32	.00	
Total 24-55-150-490.0 HEAT, LIGHTS, AND UTILITIES:				54.32	.00	
24-55-150-500.0 RENTAL - OFFICE EQUIPMENT						
U.S. BANK EQUIPMENT FINANCE	515707024	PUBLIC WORKS XEROX COPIER - SN 8	11/16/23	163.69	.00	
Total 24-55-150-500.0 RENTAL - OFFICE EQUIPMENT:				163.69	.00	
24-55-150-548.0 STREET REPAIR - SAND & GRAVEL						
TOM MECKEL SAND & GRAVEL INC.	2023-3738	Anti SKID BY MISTAKE	09/30/23	1,200.00	.00	
TOM MECKEL SAND & GRAVEL INC.	2023-3802	Anti-Skid	10/30/23	1,200.00	.00	
Total 24-55-150-548.0 STREET REPAIR - SAND & GRAVEL:				.00	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total PUBLIC WORKS & STREETS:				413.01	.00	
Total PUBLIC WORKS & STREETS FUND:				413.01	.00	
LIBRARY FUND						
LIBRARY DEPARTMENT						
25-57-150-461.0 INTERNET SERVICES						
SPARKLIGHT	20231108	INTERNET - ACCT # 112663760 NOVEM	11/08/23	116.71	.00	
Total 25-57-150-461.0 INTERNET SERVICES:				116.71	.00	
25-57-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-182652	WATER	11/12/23	106.73	.00	
Total 25-57-150-490.0 HEAT, LIGHTS, AND UTILITIES:				106.73	.00	
25-57-150-500.0 RENTAL - OFFICE EQUIPMENT						
U.S. BANK EQUIPMENT FINANCE	515707024	LIBRARY XEROX COPIER - SN 8TB6545	11/16/23	170.41	.00	
Total 25-57-150-500.0 RENTAL - OFFICE EQUIPMENT:				170.41	.00	
Total LIBRARY DEPARTMENT:				393.85	.00	
Total LIBRARY FUND:				393.85	.00	
RECREATION FUND						
RECREATION - PARKS						
28-59-150-220.0 SAND & SOIL						
TOM MECKEL SAND & GRAVEL INC.	2023-3738	TOP SOIL ROOSEVELT PARK	09/30/23	600.00	.00	
Total 28-59-150-220.0 SAND & SOIL:				600.00	.00	
28-59-150-226.0 IRRIGATION-CTRL ID HIST MUSEUM						
MCCALL, CITY OF	1123-152751	WATER	11/12/23	28.01	.00	
MCCALL, CITY OF	1123-152931	WATER	11/12/23	351.01	.00	
Total 28-59-150-226.0 IRRIGATION-CTRL ID HIST MUSEUM:				379.02	.00	
28-59-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-100461	WATER	11/12/23	105.26	.00	
MCCALL, CITY OF	1123-156201	WATER	11/12/23	747.45	.00	
MCCALL, CITY OF	1123-218691	WATER	11/12/23	3,865.49	.00	
Total 28-59-150-490.0 HEAT, LIGHTS, AND UTILITIES:				4,718.20	.00	
28-59-150-521.0 EQUIPMENT LEASE						
WELLS FARGO VENDOR FINANCIAL S	5027542195	BOBCAT SNOW BLOWER	11/18/23	1,015.52	.00	
Total 28-59-150-521.0 EQUIPMENT LEASE:				1,015.52	.00	
Total RECREATION - PARKS:				6,712.74	.00	
Total RECREATION FUND:				6,712.74	.00	
AIRPORT FUND						
AIRPORT DEPARTMENT						
29-56-150-400.0 ADVERTISING/LEGAL PUBLICATIONS						
STAR NEWS, THE	124717	SEASONAL SNOWPLOW AIRPORT	10/31/23	253.50	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 29-56-150-400.0 ADVERTISING/LEGAL PUBLICATIONS:				253.50	.00	
29-56-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-125601	WATER	11/12/23	52.63	.00	
MCCALL, CITY OF	1123-125631	WATER	11/12/23	105.26	.00	
MCCALL, CITY OF	1123-131601	WATER	11/12/23	56.01	.00	
Total 29-56-150-490.0 HEAT, LIGHTS, AND UTILITIES:				213.90	.00	
Total AIRPORT DEPARTMENT:				467.40	.00	
Total AIRPORT FUND:				467.40	.00	
LOCAL OPTION TAX FUND						
LOCAL OPTION TAX DEPARTMENT						
31-49-200-708.0 DAVIS-THOMPSON-SMB-MISSION						
DAS-CO OF IDAHO INC.	DAVIS AVE RECON	Contract Agreement for Davis CRABS, Th	11/27/23	601,304.64	.00	
Total 31-49-200-708.0 DAVIS-THOMPSON-SMB-MISSION:				601,304.64	.00	
Total LOCAL OPTION TAX DEPARTMENT:				601,304.64	.00	
Total LOCAL OPTION TAX FUND:				601,304.64	.00	
GOLF FUND						
GOLF PRO SHOP DEPARTMENT						
54-84-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-176501	WATER	11/12/23	356.34	.00	
Total 54-84-150-490.0 HEAT, LIGHTS, AND UTILITIES:				356.34	.00	
54-84-150-500.0 RENTAL - OFFICE EQUIPMENT						
XEROX FINANCIAL SERVICES	5005030	C605 LEASE PAYMENT	11/10/23	85.51	.00	
Total 54-84-150-500.0 RENTAL - OFFICE EQUIPMENT:				85.51	.00	
Total GOLF PRO SHOP DEPARTMENT:				441.85	.00	
GOLF OPERATIONS DEPARTMENT						
54-85-150-490.0 HEAT, LIGHTS, AND UTILITIES						
MCCALL, CITY OF	1123-176451	WATER	11/12/23	56.01	.00	
Total 54-85-150-490.0 HEAT, LIGHTS, AND UTILITIES:				56.01	.00	
Total GOLF OPERATIONS DEPARTMENT:				56.01	.00	
Total GOLF FUND:				497.86	.00	
WATER FUND						
WATER DISTRIBUTION						
60-64-150-260.0 POSTAGE						
BILLING DOCUMENT SPECIALISTS	91502	UTILITY BILLING POSTAGE	11/20/23	1,447.51	.00	
Total 60-64-150-260.0 POSTAGE:				1,447.51	.00	
60-64-150-301.0 PROFESSIONAL SERVICES - BILLS						
BILLING DOCUMENT SPECIALISTS	91502	UTILITY BILLING PROCESSING	11/20/23	565.44	.00	

Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid
Total 60-64-150-301.0 PROFESSIONAL SERVICES - BILLS:				565.44	.00	
60-64-200-703.0 WATER LINE IMPR. - LOT STREETS						
DAS-CO OF IDAHO INC.	DAVIS AVE RECON	Contract Agreement for Davis CRABS, Th	11/27/23	105,438.30	.00	
Total 60-64-200-703.0 WATER LINE IMPR. - LOT STREETS:				105,438.30	.00	
Total WATER DISTRIBUTION:				107,451.25	.00	
Total WATER FUND:				107,451.25	.00	
Grand Totals:				756,869.31	.00	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
A-1 HEATING & AIR					
1145	A-1 HEATING & AIR	560191	UNIT HEATER REPAIR	10/30/23	149.00
1145	A-1 HEATING & AIR	561295	MEDIA FILTER CARTRIDGES	11/08/23	80.00
Total A-1 HEATING & AIR:					229.00
AFLAC					
1680	AFLAC	721458	PREMIUMS - A/C #OLF52	10/25/23	106.52
Total AFLAC:					106.52
ALBERTSONS LLC					
1850	ALBERTSONS LLC	00431634-1101	PROGRAMMING SUPPLIES	11/01/23	5.78
1850	ALBERTSONS LLC	00723215-1108	NO SCHOOL FUN DAY SNACKS	11/08/23	54.33
1850	ALBERTSONS LLC	00809186-103	TRUNK OR TREAT	10/31/23	15.00
Total ALBERTSONS LLC:					75.11
ALSCO					
2300	ALSCO	LBOI2124492	SHOP TOWELS, DUST MOP, WET	10/24/23	67.91
2300	ALSCO	LBOI2126320	NAME EMBLEM	10/31/23	31.25
2300	ALSCO	LBOI2126328	6 MATS	10/31/23	39.69
2300	ALSCO	LBOI2126331	10 MATS	10/31/23	93.10
2300	ALSCO	LBOI2128149	4 MATS	11/07/23	26.40
2300	ALSCO	LBOI2128149	SHOP TOWELS, COVERALLS	11/07/23	66.69
2300	ALSCO	LBOI2128153	SHOP TOWELS, LAUNDRY BAG,	11/07/23	48.69
2300	ALSCO	LBOI2128154	SHOP TOWELS, DUST MOP, WET	11/07/23	67.91
2300	ALSCO	LBOI2128158	6 MATS	11/07/23	41.69
2300	ALSCO	LBOI2128160	10 MATS	11/07/23	93.10
2300	ALSCO	LBOI2129954	SHOP TOWELS, LAUNDRY BAG,	11/14/23	48.69
Total ALSCO:					625.12
AMAZON CAPITAL SERVICES INC					
2321	AMAZON CAPITAL SERVICES IN	1137-RNM9-XK	VIDEO CIRCUIT LIBRARY	10/31/23	14.99
2321	AMAZON CAPITAL SERVICES IN	113L-1PCL-X1	BOOKS	10/31/23	17.08
2321	AMAZON CAPITAL SERVICES IN	113L-1PCL-X1	YOUNG ADULT MATERIALS	10/31/23	26.28
2321	AMAZON CAPITAL SERVICES IN	13CY-7WX7-X	BOOKS	11/14/23	15.87
2321	AMAZON CAPITAL SERVICES IN	13CY-7WX7-X	CHILDREN'S BOOKS	11/14/23	30.97
2321	AMAZON CAPITAL SERVICES IN	16QP-1799-44	BOOKS	10/31/23	76.97
2321	AMAZON CAPITAL SERVICES IN	16QP-1799-44	CHILDREN'S BOOKS	10/31/23	18.78
2321	AMAZON CAPITAL SERVICES IN	16QP-1799-44	AUDIO VISUAL MATERIALS	10/31/23	9.96
2321	AMAZON CAPITAL SERVICES IN	19TN-GT34-W	BOOKS	10/31/23	31.95
2321	AMAZON CAPITAL SERVICES IN	19TN-GT34-W	WIFI ADAPTOR	10/31/23	36.04
2321	AMAZON CAPITAL SERVICES IN	1DXR-NTD3-X	AUDIO VISUAL MATERIALS	11/14/23	9.99
2321	AMAZON CAPITAL SERVICES IN	1DXR-NTD3-X	VIDEO CIRCUIT LIBRARY	11/14/23	9.99
2321	AMAZON CAPITAL SERVICES IN	1NP7-GRDG-X	BOOK	11/14/23	14.49
2321	AMAZON CAPITAL SERVICES IN	1PWD-HH1N-Y	CHILDREN'S BOOKS	11/14/23	49.13
Total AMAZON CAPITAL SERVICES INC:					362.49
ANALYTICAL LABORATORIES INC.					
2790	ANALYTICAL LABORATORIES IN	2307875	LABORATORY TESTING	10/31/23	95.00

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total ANALYTICAL LABORATORIES INC.:					95.00
ARDURRA GROUP INC					
1965	ARDURRA GROUP INC	05113 - 14148	CONTINUING SERVICE AGREEM	11/08/23	1,200.00
1965	ARDURRA GROUP INC	220656 - 9	TXY E RECONSTRUCTION	11/08/23	5,181.76
1965	ARDURRA GROUP INC	220656 - 9	TXY E RECONSTRUCTION	11/08/23	575.75
Total ARDURRA GROUP INC:					6,957.51
ASAP PORTABLES CO.					
3215	ASAP PORTABLES CO.	20231108	Portable toilet rental for FY23	11/08/23	1,037.50
Total ASAP PORTABLES CO.:					1,037.50
BAKER & TAYLOR BOOKS					
3700	BAKER & TAYLOR BOOKS	2037916353	BOOKS	11/03/23	266.51
3700	BAKER & TAYLOR BOOKS	2037923709	BOOKS	11/06/23	144.28
3700	BAKER & TAYLOR BOOKS	2037923709	CHILDREN'S BOOK	11/06/23	156.64
Total BAKER & TAYLOR BOOKS:					567.43
BOISE OFFICE EQUIPMENT					
4870	BOISE OFFICE EQUIPMENT	IN3803222	XEROX XALC8045'S OVERAGE C	11/13/23	56.97
4870	BOISE OFFICE EQUIPMENT	IN3803222	XEROX XALC8045'S OVERAGE C	11/13/23	71.57
4870	BOISE OFFICE EQUIPMENT	IN3803222	XEROX XALC8070H2 OVERAGE	11/13/23	62.82
Total BOISE OFFICE EQUIPMENT:					191.36
BORK, STEFANIE					
5120	BORK, STEFANIE	20231104	REQUESTED PICK UP SHOP STR	11/04/23	71.39
Total BORK, STEFANIE:					71.39
BUILDERS FIRSTSOURCE INC.					
5763	BUILDERS FIRSTSOURCE INC.	88206865	SNAP OFF KNIFE, FOAMULAR 25	10/30/23	158.07
5763	BUILDERS FIRSTSOURCE INC.	88210535	ANTI FREEZE	10/31/23	43.96
5763	BUILDERS FIRSTSOURCE INC.	88217261	CDX FIR RTD	11/01/23	113.15
5763	BUILDERS FIRSTSOURCE INC.	88225590	SLIP CAP	11/02/23	11.45
5763	BUILDERS FIRSTSOURCE INC.	88228024	FLT TITEN TRBO, FURRING STRI	11/03/23	75.78
5763	BUILDERS FIRSTSOURCE INC.	88231173	CAULK ACRYLIC	11/03/23	19.78
Total BUILDERS FIRSTSOURCE INC.:					422.19
C & B OPERATIONS LLC					
5923	C & B OPERATIONS LLC	123555087	2 TRANSMISSIONS	08/30/23	1,230.92
5923	C & B OPERATIONS LLC	12367881	TRANSMISSION	09/07/23	615.46-
5923	C & B OPERATIONS LLC	12477242	TRANSMISSION	11/07/23	615.46-
Total C & B OPERATIONS LLC:					.00
CARRIER CORPORATION					
99983	CARRIER CORPORATION	90313329	Continuance of Carrier Service Agr	10/01/23	1,042.52

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total CARRIER CORPORATION:					1,042.52
CATERPILLAR FINANCIAL SERVICES					
6450	CATERPILLAR FINANCIAL SERV	34630992	CATERPILLAR SKID STEER LOA	11/26/23	7,994.66
Total CATERPILLAR FINANCIAL SERVICES:					7,994.66
CDW GOVERNMENT INC.					
6530	CDW GOVERNMENT INC.	MX86759	Dell Latitude 5540 w/ touchscreen	11/07/23	1,641.81
6530	CDW GOVERNMENT INC.	MX94367	Dell Latitude 9440 2-in-1	11/08/23	2,525.29
6530	CDW GOVERNMENT INC.	MX94367	Dell Latitude 5540 2-in-1 13" scree	11/08/23	1,805.14
Total CDW GOVERNMENT INC.:					5,972.24
CLEAR SOLUTIONS ENGINEERING					
7076	CLEAR SOLUTIONS ENGINEERI	317	Task Order TO-23-02: Misc. Water	11/06/23	935.00
7076	CLEAR SOLUTIONS ENGINEERI	318	WATER STORAGE TANK PER	09/30/23	1,785.00
Total CLEAR SOLUTIONS ENGINEERING:					2,720.00
COLUMN SOFTWARE PBC					
2652	COLUMN SOFTWARE PBC	1D06BADA-00	2023 TURBIDITY 1455240	09/13/23	37.62
2652	COLUMN SOFTWARE PBC	1D06BADA-00	Ordinance 1021 1491230	09/18/23	240.77
2652	COLUMN SOFTWARE PBC	1D06BADA-00	SMALL CONCESSIONAIRE PROP	11/14/23	29.48
Total COLUMN SOFTWARE PBC:					307.87
CONTROL ENGINEERS PA					
7785	CONTROL ENGINEERS PA	29967	Control Engineers General Service	11/01/23	437.50
Total CONTROL ENGINEERS PA:					437.50
CURTIS CLEAN SWEEP INC.					
8370	CURTIS CLEAN SWEEP INC.	22331	WOOLEY RD	10/31/23	792.24
Total CURTIS CLEAN SWEEP INC.:					792.24
DELTA DENTAL PLAN OF IDAHO					
8860	DELTA DENTAL PLAN OF IDAHO	202311	PREMIUMS - #2667-0000	10/23/23	3,352.83
Total DELTA DENTAL PLAN OF IDAHO:					3,352.83
DIAMOND FUEL & FEED SUPPLY INC.					
9080	DIAMOND FUEL & FEED SUPPL	32018	Dyed Diesel for Airport Operations	11/09/23	3,083.33
Total DIAMOND FUEL & FEED SUPPLY INC.:					3,083.33
DIGLINE INC.					
9140	DIGLINE INC.	0072804-IN	CITY OF MCCALL FIBER ADDITIO	10/31/23	15.60
9140	DIGLINE INC.	0072804-IN	CITY OF MCCALL PARKS ADDITI	10/31/23	9.75
9140	DIGLINE INC.	0072804-IN	CITY OF MCCALL PUBLIC WORK	10/31/23	64.74
9140	DIGLINE INC.	0072804-IN	CITY OF MCCALL WATER ADDITI	10/31/23	258.96

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total DIGLINE INC.:					349.05
ED STAUB & SONS PETROLEUM INC					
2879	ED STAUB & SONS PETROLEU	9962310	PROPANE	11/13/23	2,790.54
Total ED STAUB & SONS PETROLEUM INC:					2,790.54
ELK CREEK BAPTIST CHURCH INC.					
9950	ELK CREEK BAPTIST CHURCH I	124	GIRLS BASKETBALL - USE OF G	11/07/23	160.00
Total ELK CREEK BAPTIST CHURCH INC.:					160.00
FALVEY'S LLC					
10495	FALVEY'S LLC	20231106	REFUND OF HYDRANT METER N	11/06/23	1,400.00
Total FALVEY'S LLC:					1,400.00
FERGUSON ENTERPRISES #3007					
26140	FERGUSON ENTERPRISES #30	2009343	1.6 AV CLST REP KIT	10/30/23	99.16
Total FERGUSON ENTERPRISES #3007:					99.16
FILEONQ INC.					
10785	FILEONQ INC.	11407	Software maintenance and support	11/09/23	1,650.00
Total FILEONQ INC.:					1,650.00
FORCE SCIENCE LTD					
4699	FORCE SCIENCE LTD	FSI-29965	FORCE ENCOUNTERS TUITION -	11/13/23	395.00
Total FORCE SCIENCE LTD:					395.00
GALLS					
11640	GALLS	026122131	STRETCH CAP	10/31/23	15.99
11640	GALLS	026129254	PANTS CREDIT	10/31/23	657.80-
Total GALLS:					641.81-
GCSA					
11860	GCSA	3367	ANNUAL DUES - E. MCCORMICK	11/09/23	135.00
Total GCSA:					135.00
GRAINGER					
32180	GRAINGER	9898558680	BENCH DRILL PRESS	11/08/23	530.00
Total GRAINGER:					530.00
GRANITE EXCAVATION INC.					
12385	GRANITE EXCAVATION INC.	20231106	REFUND - FIRE HYDRANT METE	11/06/23	1,400.00
12385	GRANITE EXCAVATION INC.	20231106	REFUND - FIRE HYDRANT METE	11/06/23	100.00
12385	GRANITE EXCAVATION INC.	DAVIS - SPRIN	Construction Contract for Spring Mt	11/10/23	25,875.03
12385	GRANITE EXCAVATION INC.	DEINHARD -	Construction contract for Deinhard (11/09/23	1,072,632.66

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
12385	GRANITE EXCAVATION INC.	DEIINHARD -	Construction contract for Deinhard (11/09/23	44,951.69
12385	GRANITE EXCAVATION INC.	DEIINHARD -	Construction contract for Deinhard (11/09/23	14,388.54
Total GRANITE EXCAVATION INC.:					1,159,347.92
IDAHO CHILD SUPPORT RECEIPTING					
14860	IDAHO CHILD SUPPORT RECEI	20231117 - 10	CASE# - 452852	11/17/23	162.18
14860	IDAHO CHILD SUPPORT RECEI	20231117 - 6	CASE# - 395109	11/17/23	106.62
Total IDAHO CHILD SUPPORT RECEIPTING:					268.80
IDAHO RURAL WATER ASSOCIATION					
15460	IDAHO RURAL WATER ASSOCIA	#4764	MOTOR CONTROLS & VARIABLE	05/02/23	720.00
Total IDAHO RURAL WATER ASSOCIATION:					720.00
IDAHO TRANSPORTATION DEPARTMENT					
15620	IDAHO TRANSPORTATION DEP	C14530	2007 FORD F250 REGISTRATION	11/15/23	23.00
Total IDAHO TRANSPORTATION DEPARTMENT:					23.00
III-A TRUST					
15735	III-A TRUST	202311	PREMIUMS - #142-MCCALL	10/19/23	103,340.00
15735	III-A TRUST	202311	VISION PREMIUMS - #142-MCCA	10/19/23	1,056.00
Total III-A TRUST:					104,396.00
JERRY'S AUTO PARTS					
16890	JERRY'S AUTO PARTS	366735	HOSE END FITTING	11/03/23	27.72
16890	JERRY'S AUTO PARTS	367159	WARRANTY	11/06/23	95.77-
16890	JERRY'S AUTO PARTS	367345	PANEL FILTER, V BELTS	11/07/23	124.47
16890	JERRY'S AUTO PARTS	367383	BOXED MINIATURES, BELT DRE	11/07/23	4.89
16890	JERRY'S AUTO PARTS	367407	POWER UNIT ASSEMBLY	11/07/23	295.98
16890	JERRY'S AUTO PARTS	367589	SEALER	11/08/23	34.31
16890	JERRY'S AUTO PARTS	367612	BULB	11/08/23	2.36
16890	JERRY'S AUTO PARTS	368363	AIR FILTER, LIP SEAL	11/13/23	77.49
Total JERRY'S AUTO PARTS:					471.45
LAWSON PRODUCTS INC.					
18440	LAWSON PRODUCTS INC.	9311048967	4DRUM INLINESPILL CONTAINM	11/02/23	688.20
18440	LAWSON PRODUCTS INC.	9311059656	PLOW BOLT	11/07/23	71.50
18440	LAWSON PRODUCTS INC.	9311066896	SHOP PARTS	11/09/23	350.44
Total LAWSON PRODUCTS INC.:					1,110.14
LES SCHWAB TIRE CENTERS					
18700	LES SCHWAB TIRE CENTERS	12500414216	FLAT REPAIR	10/12/23	30.00
18700	LES SCHWAB TIRE CENTERS	12500414535	DISMOUNT & MOUNT TIRES	10/14/23	107.92
18700	LES SCHWAB TIRE CENTERS	12500414707	ROTATE PLOW TRUCK TIRES	10/16/23	399.90
18700	LES SCHWAB TIRE CENTERS	12500415995	LACLEDE CROSS CHAIN	10/25/23	300.56
18700	LES SCHWAB TIRE CENTERS	12500416158	WINTER CHANGEOVER	10/25/23	215.86
18700	LES SCHWAB TIRE CENTERS	12500416476	Tires For Equipment #1	10/27/23	2,548.58
18700	LES SCHWAB TIRE CENTERS	12500416477	SERVICE CALL - GRADER	10/27/23	584.77

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total LES SCHWAB TIRE CENTERS:					4,187.59
MAY HARDWARE INC.					
20160	MAY HARDWARE INC.	85007	PADLOCKS	10/10/23	336.40
20160	MAY HARDWARE INC.	85595	STEEL WOOL, PAINT BRUSH SET	10/17/23	17.98
20160	MAY HARDWARE INC.	86828	GLOVES, ELBOW	10/31/23	50.36
20160	MAY HARDWARE INC.	86833	GLOVE, THUMB GLOVE	10/31/23	26.98
20160	MAY HARDWARE INC.	86893	PARACORD, POLY FILM	10/31/23	86.37
20160	MAY HARDWARE INC.	86953	TORCH KIT	11/01/23	62.99
20160	MAY HARDWARE INC.	87121	BIT SET	11/02/23	21.59
20160	MAY HARDWARE INC.	87142	REBBER MALLETS	11/03/23	45.86
20160	MAY HARDWARE INC.	87178	PAINT SUPPLIES	11/03/23	216.72
20160	MAY HARDWARE INC.	87186	TUBE BRAID	11/03/23	12.55
20160	MAY HARDWARE INC.	87196	BAG OF ROGS, PAINT TRAY, 2 G	11/03/23	94.27
20160	MAY HARDWARE INC.	87224	CUT OFF WHEEL	11/03/23	9.99
20160	MAY HARDWARE INC.	87227	UTILITY KNIFE, CLU CHALK	11/03/23	20.68
20160	MAY HARDWARE INC.	87269	CEILING PAINT	11/04/23	184.49
20160	MAY HARDWARE INC.	87344	SIMPLE GREEN	11/06/23	12.99
20160	MAY HARDWARE INC.	87378	PIPE WRENCH	11/06/23	70.18
20160	MAY HARDWARE INC.	87430	LAUNDRY DTRGNT, DRYR SHTS,	11/07/23	43.55
20160	MAY HARDWARE INC.	87438	PINESOL	11/07/23	14.39
20160	MAY HARDWARE INC.	87439	HOSE WASHER, TY WIRE	11/07/23	23.54
20160	MAY HARDWARE INC.	87448	GORILLA GLUE, NITRILE GLOVE	11/07/23	14.56
20160	MAY HARDWARE INC.	87490	PVC PIPE	11/07/23	23.97
20160	MAY HARDWARE INC.	87502	ANCHOR SHACKLE	11/07/23	34.18
20160	MAY HARDWARE INC.	87536	RECIP BLDS	11/08/23	37.78
20160	MAY HARDWARE INC.	87538	US FLAG	11/08/23	27.97
20160	MAY HARDWARE INC.	87542	CARPET CLEANER, BRUSH	11/08/23	15.08
20160	MAY HARDWARE INC.	87560	GREASE, WHT LTX, CABLE TIES,	11/08/23	66.88
20160	MAY HARDWARE INC.	87569	AAA BATTERIES	11/08/23	39.98
20160	MAY HARDWARE INC.	87570	ROLLER CVR, P&P SAT DW	11/08/23	46.42
20160	MAY HARDWARE INC.	87633	OTHER VENDOR PARTS	11/09/23	34.99
20160	MAY HARDWARE INC.	87645	DECK SCREW, BLUchalk, FLAG	11/09/23	83.67
20160	MAY HARDWARE INC.	87673	ORANGE PAINT, WOODCUTTER	11/09/23	36.94
20160	MAY HARDWARE INC.	87706	STL TUBE	11/09/23	66.58
20160	MAY HARDWARE INC.	87718	ELECTRIC TAPE	11/09/23	15.46
20160	MAY HARDWARE INC.	87872	TECH GLOVE	11/11/23	22.49
20160	MAY HARDWARE INC.	87908	LAUNDRY DETERGENT, 2 CYCLE	11/13/23	40.92
20160	MAY HARDWARE INC.	87912	PRIMER, JMBO KTR P/D RLR FR	11/13/23	31.28
20160	MAY HARDWARE INC.	87925	3V BATTERY	11/13/23	5.39
20160	MAY HARDWARE INC.	87958	GREAT STUFF, SANDSPONG, NY	11/13/23	18.62
20160	MAY HARDWARE INC.	88009	5 SINGLE CUT KEY	11/13/23	13.45
20160	MAY HARDWARE INC.	88043	GLOVE, SANDING SPONGE, SNA	11/14/23	25.69
20160	MAY HARDWARE INC.	88077	MISC OTHER VENDOR PARTS	11/14/23	24.47
Total MAY HARDWARE INC.:					2,078.65
MCCALL CLEANERS					
4225	MCCALL CLEANERS	#PW20231109	COMMERCIAL CLEAN	09/30/23	320.00
4225	MCCALL CLEANERS	20231109 1	COMMERCIAL CLEAN	11/09/23	480.00
Total MCCALL CLEANERS:					800.00

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
McCALL DELIVERY SERVICE					
20462	McCALL DELIVERY SERVICE	2023-0906	DELIVERIES	11/07/23	191.00
Total McCALL DELIVERY SERVICE:					191.00
MOHR, MEGAN					
5913	MOHR, MEGAN	20231101	PICK UP UNIFORMS	11/01/23	142.79
Total MOHR, MEGAN:					142.79
NORTHWEST EQUIPMENT SALES INC.					
23102	NORTHWEST EQUIPMENT SAL	333645BP	GLASS	11/07/23	275.39
23102	NORTHWEST EQUIPMENT SAL	334248BP	HOSE HOLDER	11/06/23	17.95
23102	NORTHWEST EQUIPMENT SAL	334389BP	STROBE	11/10/23	807.48
23102	NORTHWEST EQUIPMENT SAL	334525BP	STACK 5", CLAMP BAND	11/10/23	94.39
Total NORTHWEST EQUIPMENT SALES INC.:					1,195.21
NUESYNERGY INC.					
23265	NUESYNERGY INC.	8167	HRA/FSA ADMIN FEES	11/13/23	370.00
23265	NUESYNERGY INC.	8167	COBRA ADMIN FEES	11/13/23	75.00
23265	NUESYNERGY INC.	8167	ANNUAL RENEWAL FEE	11/13/23	250.00
Total NUESYNERGY INC.:					695.00
PINE COVE CONSULTING LLC					
24427	PINE COVE CONSULTING LLC	19139C	Shared costs of Verkada cameras f	09/30/23	7,077.15
24427	PINE COVE CONSULTING LLC	19139C	Surveillance Camera System for M	09/30/23	18,000.00
Total PINE COVE CONSULTING LLC:					25,077.15
PNC EQUIPMENT FINANCE LLC					
24545	PNC EQUIPMENT FINANCE LLC	1828755	RENTAL PAYMENT	11/01/23	60,950.00
Total PNC EQUIPMENT FINANCE LLC:					60,950.00
RIDLEY'S FAMILY MARKETS					
25800	RIDLEY'S FAMILY MARKETS	00223921216-	TRUNK OR TREAT	10/30/23	31.96
Total RIDLEY'S FAMILY MARKETS:					31.96
ROCKY MOUNTAIN SIGNS & APPAREL					
26280	ROCKY MOUNTAIN SIGNS & AP	25389	Printing of 4 youth artwork mural pa	10/26/23	1,796.00
26280	ROCKY MOUNTAIN SIGNS & AP	25416	Subaru rewrap and design overdue	10/31/23	1,787.00
Total ROCKY MOUNTAIN SIGNS & APPAREL:					3,583.00
SAFETY-KLEEN SYSTEMS INC					
26821	SAFETY-KLEEN SYSTEMS INC	92918152	RECOVERY FEE, WASHER SERV	10/27/23	151.00
Total SAFETY-KLEEN SYSTEMS INC:					151.00
SHERWIN-WILLIAMS CO., THE					
27655	SHERWIN-WILLIAMS CO., THE	1737-7	POWERHOUSE WHITE	11/08/23	31.92

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
27655	SHERWIN-WILLIAMS CO., THE	2876-8	SHOP PAINT	11/03/23	48.85
Total SHERWIN-WILLIAMS CO., THE:					80.77
SHRED-IT USA - BOISE					
27890	SHRED-IT USA - BOISE	8005236754	SHREDDING	11/03/23	91.18
27890	SHRED-IT USA - BOISE	8005236754	SHREDDING	11/03/23	164.27
Total SHRED-IT USA - BOISE:					255.45
SIMPLIFILE					
28074	SIMPLIFILE	612086293064	RECORDING FEES	11/01/23	6.50
Total SIMPLIFILE:					6.50
SITE SPECIFIC LLC					
7185	SITE SPECIFIC LLC	1344	Library public art project - total cont	11/02/23	12,000.00
Total SITE SPECIFIC LLC:					12,000.00
STERLING BATTERY CO.					
29120	STERLING BATTERY CO.	G82170	RESTOCK BATTERIES	11/06/23	38.16
Total STERLING BATTERY CO.:					38.16
SUMMIT NATIONAL BANK					
7293	SUMMIT NATIONAL BANK	14564 11-13-23	2022 CAT 246D3 SKID STEER LO	11/13/23	3,933.36
7293	SUMMIT NATIONAL BANK	14564 11-13-23	2022 CAT 246D3 SKID STEER LO	11/13/23	2,350.70
7293	SUMMIT NATIONAL BANK	14565 11-13-23	2022 CAT 259D3 MULTI TERRAIN	11/13/23	2,455.19
7293	SUMMIT NATIONAL BANK	14565 11-13-23	2022 CAT 259D3 MULTI TERRAIN	11/13/23	3,389.19
7293	SUMMIT NATIONAL BANK	14597 11-13-23	2022 CAT 420XE BACKHOE LOAD	11/13/23	8,932.81
7293	SUMMIT NATIONAL BANK	14597 11-13-23	2022 CAT 420XE BACKHOE LOAD	11/13/23	5,508.14
7293	SUMMIT NATIONAL BANK	14598 11-13-23	2022 CAT 950M WHEEL LOADER	11/13/23	21,723.70
7293	SUMMIT NATIONAL BANK	14598 11-13-23	2022 CAT 950M WHEEL LOADER	11/13/23	12,129.44
Total SUMMIT NATIONAL BANK:					60,422.53
TATES RENTS INC					
71114	TATES RENTS INC	1793229-7	AIR COMPRESSOR	11/01/23	141.12
71114	TATES RENTS INC	1793716-7	LP GAS	11/01/23	17.56
Total TATES RENTS INC:					158.68
TODD, MEREDITH					
6718	TODD, MEREDITH	20231022	MT 2030 CLIMATE CONFERENCE	10/22/23	140.83
6718	TODD, MEREDITH	20231022	MT 2030 CLIMATE CONFERENCE	10/22/23	245.80
Total TODD, MEREDITH:					386.63
TREASURE VALLEY COFFEE INC.					
30580	TREASURE VALLEY COFFEE INC	2160:09946180	COFFEE, TEA	11/13/23	115.72
Total TREASURE VALLEY COFFEE INC.:					115.72

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
TREASURE VALLEY TRANSIT INC.					
30630	TREASURE VALLEY TRANSIT INC	505	50% OCTOBER 2023 UTILITIES I	10/31/23	290.92
Total TREASURE VALLEY TRANSIT INC.:					290.92
U.S. POSTAL SERVICE					
31540	U.S. POSTAL SERVICE	20231109	POSTAGE - METER A/C #1857338	11/09/23	500.00
Total U.S. POSTAL SERVICE:					500.00
UNIFORMS2GEAR INC.					
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	New hire uniforms	11/01/23	49.44
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	ALTERATIONS	09/30/23	356.10
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	COMFORT PANEL	11/01/23	197.07
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	NEW HIRE UNIFORMS	11/01/23	110.88
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	Uniforms for new hire	11/01/23	110.88
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	NEW HIRE UNIFORMS	11/01/23	49.44
31175	UNIFORMS2GEAR INC.	INV/2023/11/00	Uniforms for new hire	11/01/23	49.44
Total UNIFORMS2GEAR INC.:					923.25
USABBLUEBOOK					
31550	USABBLUEBOOK	INV00183453	POST IT CUBE	11/01/23	.00
Total USABBLUEBOOK:					.00
VALLEY COUNTY					
31640	VALLEY COUNTY	2023 - DECEM	PD FACILITY LEASE	11/14/23	2,700.00
Total VALLEY COUNTY:					2,700.00
VALLEY PAVING & ASPHALT INC.					
31900	VALLEY PAVING & ASPHALT INC	12173	2" CRUSHED DRAIN ROCK	10/31/23	83.52
31900	VALLEY PAVING & ASPHALT INC	12174	SP 4 1/2 ASHP	10/31/23	760.32
31900	VALLEY PAVING & ASPHALT INC	12175	SP 4 1/2 ASHP	10/31/23	867.84
31900	VALLEY PAVING & ASPHALT INC	12176	SP 4 1/2 ASHP	10/31/23	696.00
31900	VALLEY PAVING & ASPHALT INC	12177	2" CRUSHED DRAIN ROCK	10/31/23	353.40
31900	VALLEY PAVING & ASPHALT INC	12178	SP 4 1/2 ASHP	10/31/23	353.28
Total VALLEY PAVING & ASPHALT INC.:					3,114.36
WALLACE, EULLA F.					
32290	WALLACE, EULLA F.	20231020	NOVOTX CONFERENCE	10/20/23	87.82
Total WALLACE, EULLA F.:					87.82
WASHINGTON STATE SUPPORT REGISTRY					
1000	WASHINGTON STATE SUPPORT	20231117 - 1	CASE# - 2281417	11/17/23	187.38
Total WASHINGTON STATE SUPPORT REGISTRY:					187.38
WEAVER, JODI					
9544	WEAVER, JODI	20231020	NOVOTX CONFERENCE 2023	10/20/23	598.18

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total WEAVER, JODI:					598.18
WIENHOFF DRUG TESTING					
33040	WIENHOFF DRUG TESTING	117600	ANNUAL CONSORTIUM FEE	11/15/23	75.00
Total WIENHOFF DRUG TESTING:					75.00
WILBUR-ELLIS COMPANY LLC					
33060	WILBUR-ELLIS COMPANY LLC	16154577	Headway Granular 30 bags	11/07/23	1,610.00
Total WILBUR-ELLIS COMPANY LLC:					1,610.00
WILLAMETTE DENTAL INSURANCE					
33095	WILLAMETTE DENTAL INSURA	202311	PREMIUMS - GROUP #Z1759 - ID	11/01/23	2,748.80
Total WILLAMETTE DENTAL INSURANCE:					2,748.80
XEROX FINANCIAL SERVICES					
2628	XEROX FINANCIAL SERVICES	5004956	PD C405	11/10/23	65.13
2628	XEROX FINANCIAL SERVICES	5004956	AIRPORT C405	11/10/23	75.45
2628	XEROX FINANCIAL SERVICES	5004956	PARKS C405	11/10/23	107.10
2628	XEROX FINANCIAL SERVICES	5004956	PD C8145	11/10/23	336.08
2628	XEROX FINANCIAL SERVICES	5023061	C605 LEASE PAYMENT	11/13/23	138.54
Total XEROX FINANCIAL SERVICES:					722.30
Grand Totals:					1,495,753.86

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
ALSCO					
2300	ALSCO	LBOI2129961	10 MATS	11/14/23	93.10
Total ALSCO:					93.10
AMERICAN LEGAL PUBLISHING					
2548	AMERICAN LEGAL PUBLISHING	29080	Ordinance codification 1019, 1020,	11/13/23	1,826.55
Total AMERICAN LEGAL PUBLISHING:					1,826.55
BILLING DOCUMENT SPECIALISTS					
4645	BILLING DOCUMENT SPECIALI	91502	UTILITY BILLING PROCESSING	11/20/23	565.44
4645	BILLING DOCUMENT SPECIALI	91502	UTILITY BILLING POSTAGE	11/20/23	1,447.51
Total BILLING DOCUMENT SPECIALISTS:					2,012.95
BOISE OFFICE EQUIPMENT					
4870	BOISE OFFICE EQUIPMENT	IN3812040	XEROX X845H OVERAGE CHAR	11/16/23	252.13
Total BOISE OFFICE EQUIPMENT:					252.13
COLONIAL LIFE & ACCIDENT					
7460	COLONIAL LIFE & ACCIDENT	328972511011	PREMIUMS - BCN E3289725	11/01/23	482.24
Total COLONIAL LIFE & ACCIDENT:					482.24
DAS-CO OF IDAHO INC.					
8593	DAS-CO OF IDAHO INC.	DAVIS AVE RE	Contract Agreement for Davis CRA	11/27/23	601,304.64
8593	DAS-CO OF IDAHO INC.	DAVIS AVE RE	Contract Agreement for Davis CRA	11/27/23	105,438.30
Total DAS-CO OF IDAHO INC.:					706,742.94
GANS & PUGH ASSOCIATES INC					
4236	GANS & PUGH ASSOCIATES IN	6491-2301	SURVEILLANCE CAMERA SYSTE	09/12/23	12,657.00
Total GANS & PUGH ASSOCIATES INC:					12,657.00
MCCALL, CITY OF					
6960	MCCALL, CITY OF	1123-100461	WATER	11/12/23	105.26
6960	MCCALL, CITY OF	1123-125601	WATER	11/12/23	52.63
6960	MCCALL, CITY OF	1123-125631	WATER	11/12/23	105.26
6960	MCCALL, CITY OF	1123-131601	WATER	11/12/23	56.01
6960	MCCALL, CITY OF	1123-152751	WATER	11/12/23	28.01
6960	MCCALL, CITY OF	1123-152931	WATER	11/12/23	351.01
6960	MCCALL, CITY OF	1123-156201	WATER	11/12/23	747.45
6960	MCCALL, CITY OF	1123-166031	WATER	11/12/23	52.63
6960	MCCALL, CITY OF	1123-176451	WATER	11/12/23	56.01
6960	MCCALL, CITY OF	1123-176501	WATER	11/12/23	356.34
6960	MCCALL, CITY OF	1123-182601	WATER	11/12/23	217.28
6960	MCCALL, CITY OF	1123-182652	WATER	11/12/23	106.73
6960	MCCALL, CITY OF	1123-183351	WATER	11/12/23	54.32
6960	MCCALL, CITY OF	1123-218691	WATER	11/12/23	3,865.49

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total MCCALL, CITY OF:					6,154.43
MUTUAL OF OMAHA INSURANCE COMPANY					
5234	MUTUAL OF OMAHA INSURANC	001592004439	GPPPCDCG 001A	09/27/23	1,221.65
5234	MUTUAL OF OMAHA INSURANC	001596578444	GOOOCDCG OO1A	11/01/23	1,227.40
Total MUTUAL OF OMAHA INSURANCE COMPANY:					2,449.05
SPARKLIGHT					
28656	SPARKLIGHT	20231108	INTERNET - ACCT # 112663760 N	11/08/23	116.72
28656	SPARKLIGHT	20231108	INTERNET - ACCT # 112663760 N	11/08/23	116.71
Total SPARKLIGHT:					233.43
STAR NEWS, THE					
28980	STAR NEWS, THE	124717	SEASONAL SNOWPLOW AIRPOR	10/31/23	253.50
28980	STAR NEWS, THE	124717	STREETS HIRING	10/31/23	195.00
28980	STAR NEWS, THE	124717	MCCALL CITY COUNCIL 10/12,10/	10/31/23	1,020.00
28980	STAR NEWS, THE	124717	CITY OF MCCALL HALLOWEEN	10/31/23	180.00
Total STAR NEWS, THE:					1,648.50
TOM MECKEL SAND & GRAVEL INC.					
30300	TOM MECKEL SAND & GRAVEL	2023-3738	Anti SKID BY MISTAKE	09/30/23	1,200.00
30300	TOM MECKEL SAND & GRAVEL	2023-3738	TOP SOIL ROOSEVELT PARK	09/30/23	600.00
30300	TOM MECKEL SAND & GRAVEL	2023-3802	Anti-Skid	10/30/23	1,200.00-
Total TOM MECKEL SAND & GRAVEL INC.:					600.00
U.S. BANK EQUIPMENT FINANCE					
31035	U.S. BANK EQUIPMENT FINANC	515707024	LIBRARY XEROX COPIER - SN 8T	11/16/23	170.41
31035	U.S. BANK EQUIPMENT FINANC	515707024	PUBLIC WORKS XEROX COPIER	11/16/23	163.69
31035	U.S. BANK EQUIPMENT FINANC	515707024	CITY HALL XEROX COPIER - SN	11/16/23	247.39
Total U.S. BANK EQUIPMENT FINANCE:					581.49
UNITED PARCEL SERVICE					
31280	UNITED PARCEL SERVICE	8459E3453	SHIPPING	11/11/23	50.53
Total UNITED PARCEL SERVICE:					50.53
WELLS FARGO VENDOR FINANCIAL SVC LLC					
32565	WELLS FARGO VENDOR FINAN	5027542195	BOBCAT SNOW BLOWER	11/18/23	1,015.52
Total WELLS FARGO VENDOR FINANCIAL SVC LLC:					1,015.52
WHITE PETERSON P.A.					
32910	WHITE PETERSON P.A.	159587	GENERAL CITY ADMIN	10/31/23	16,553.17
Total WHITE PETERSON P.A.:					16,553.17
XERILLION CORPORATION					
33418	XERILLION CORPORATION	INV-04065-R9T	Global PO to cover monthly expens	10/31/23	3,430.77

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount
Total XERILLION CORPORATION:					3,430.77
XEROX FINANCIAL SERVICES					
2628	XEROX FINANCIAL SERVICES	5005030	C605 LEASE PAYMENT	11/10/23	85.51
Total XEROX FINANCIAL SERVICES:					85.51
Grand Totals:					756,869.31

**MCCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number

AB 23-220

Meeting Date

November 30, 2023

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
<i>City Licenses Report to Council Per McCall City Code</i>		Mayor / Council		
		City Manager	ABS	
		Clerk	SP	Originator
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	n/a	Parks and Recreation		
FUNDING SOURCE:	n/a	Airport		
		Library		
TIMELINE:	n/a	Information Systems		
		Grant Coordinator		
SUMMARY STATEMENT:				
<p>Per McCall City Code Title 4 Chapter 9, the City Council has determined the City Clerk shall be delegated the authority to process and grant or deny all alcoholic beverage license applications, other than certain circumstances involving catering permits, which the City Clerk shall review the application for catering permit for completeness and forward said application to the Police Chief. The Police Chief upon receipt of the application shall make a recommendation to the City Clerk to approve or deny the application. Whenever the City Clerk shall determine that an application for alcoholic beverage license transfer or renewal is complete, the City Clerk shall approve or deny such application. All decisions of the City Clerk shall be reported to the City Council at the next regularly scheduled City Council meeting after such a decision. The City Clerk is also responsible for all processing of business, taxi, snow removal, pawnbroker, child daycare licenses, vendor and short-term rental permits, and public event applications.</p> <p>Please see the attached Clerk Report for the last three weeks. The report has been updated to reflect recent code updates to permits; including Short-Term Rental permits and Commercial Snow Removal permits.</p>				
RECOMMENDED ACTION:				
Council reviews the License report.				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

City Clerk's License Report

Council Meeting: November 30, 2023

Business License Activity

Business Name	Type of Business	Address	New	Close	BL#	Issued
Tates Rents Inc	Equipment Rental Agency	106 S Mission St	X		3412	11/9/2023
St Louis Enterprises LLC DBA Brunchette	Restaurant	312 Lake St	X		3424	11/14/2023
Brunchette On the Lake	Restaurant	312 Lake St		X	2681	

Short-Term Rental Permit Activity

Owner(s)	Rental Address	Local Contact	New	Renewal	Closed	# Bedrooms	Max Occupancy	Parking	Permit #	Issued
Steve Schafer	200 Colorado	DoneRight Management	x			4	10	4	3403	11/9/2023
Mary McInnis	915 Conifer Ln	Kari Davies	x			3	8	3	3217	11/9/2023
Galaly Ahmad	820 Evergreen Dr	Galaly Ahmand	x			3	8	3	3413	11/9/2023
Kathryn Flanagan	807 Fairway Dr	DoneRight Management	x			3	8	3	3351	11/9/2023
Michael Hendrichs	1009 Kaitlyn Loop	Vacasa	x			3	8	3	3374	11/9/2023
Patricia Cook	1000 2nd St Unit 202	DoneRight Management	x			3	8	3	3260	11/9/2023
Connie White	611 Pinedale St	Connie White	x			3	8	2	3410	11/9/2023
Dawnette Waters	133 E Stibnite St				x				2633	
Little Red Cabin	613 Hemlock St				x				2887	
Ana & Bryan Powell	1550 Majestic View				x				2914	

City Clerk's License Report

Rob and Michele Walker	1316 Hubbard Drive				x			2966	
Born/Rhees LLC	1906 Agate B				x			2970	
Chad and Elvia Taylor	1420 Bitterroot				x			3017	
Eastgate Investments, LLC.	300 E Stibnite Ave				x			1473	
McCall Aspen Retreat	1630 Davis Ave #29				x			2221	
Little Red Cabin	1110 Davis Ave				x			2867	
Millar Enterprises, LLC	269 Rio Vista Blvd				x			2896	
Hess Cabin Rental	1080 Cedar Ln				x			1035	
McCall Dream Vacations	1119 Mo's Way				x			2720	
Aaron Nemec and Christy Balsbaugh	1303 Mill Road #4				x			3132	
McCall Lakeview Condo	507 Hemlock 22				x			1110	
Brandon Bullough	1630 Davis Ave #58				x			3317	
Sunny Way LLC	200 Sunny Way				x			2716	
Amy Isacson	617 Lick Creek Rd				x			1038	

Alcohol License Activity

Business Name	Physical Address	New	Renewal	Closed	BL#	Issued
Brunchette On the Lake	312 Lake St			X	2681	

City Clerk's License Report

Catering Permit Activity

Name of Licensee	Event	Location of Event	Date of Event	Time of Event	Issued	Rev
Delish Catering LLC	McCall Jewelry Client Appreciation	207 E Lake St	11/16/2023	5:00pm - 8:00 pm	11/13/2023	\$20
The Art Gallery McCall Inc	Reception at Gallery Fifty-Five	311 E Lake St	12/2/2023	4:00pm - 8:00pm	11/13/2023	\$20
Brundage Mountain Resort	Pray for Snow	1117 E Lake St	11/11/2023	4:00pm - 9:00pm	11/3/2023	\$20

Outdoor Public Events/Vendor Permit Activity

Applicant	Event	Location of Event	Date(s) of Event	Time of Event	Rd Closure	Issued
Payette Lakes Progressive Club	Festival of Trees	200 Scott St	12/2/2023	10:00am - 6:00pm	no	11/15/2023
Tamarack Food Beverage LLC	Toby's Place - Shred Shed	506 Pine St	11/11/2023	9:00am - 4:00pm	no	11/9/2023
Brundage Mountain Resort	Pray for Snow	1117 E Lake St	11/11/2023	4:00pm - 9:00pm	no	11/8/2023

Commercial Snow Removal Permit Renewal Activity

Business Name	Owner	Type of Snow Removal	BL#	Closed	Date
Anderson Property Management	Blake William Anderson	Private Driveways	1064		11/15/2023
Moving Mountains Snow Removal & Excavation	Casey Dickinson	Driveways, Parking Lots, Walkways & Roof Slide Clean Up	2203		11/15/2023
Freelon Property Services	Kegan Freelon	Driveways, Parking Lots & Roofs	1118		11/15/2023
Ice Dam Bros	Clint Barnett	Roofs	2925		11/15/2023
Idaho Snow Plowing	Mark Wright	Driveways	2589		11/15/2023
Ida-Hoe Backhoe Service	Lonnie King	Driveways	864		11/15/2023
JWC Snow Services	Justin Rowe	Roofs & Walkways	2178		11/15/2023
McCall Estate Management	Jason & Marcia Smith	Private Drives & Walkways	2647		11/15/2023

City Clerk's License Report

Mountain Roots Landscaping LLC	Shane Bowden	Driveways, Private Drives & Walkways	2668		11/15/2023
NDI Contracting Inc	Jim Newcomb	Driveways & Commercial Parking Lots	1122		11/15/2023
R&R Excavation	Scott Fereday	Downtown Commercial & Residential Driveways	2374		11/15/2023
Randy Morell Excavating & Construction	Randy Morell	Driveways & Parking Lots	1134		11/15/2023
Sharlies Auto Repair	Chuck Seubert	Driveways	587		11/15/2023
Upton Company	Steve Upton	Roofs	1972		11/15/2023
Goff Inc	Robert Goff	Driveways	1123		11/15/2023
Krahn's Home Furnishings	Dan Krahn	Driveways & Parking Lots	433		11/15/2023
Sy's Skid Service LLC	Elliott Parris	Driveways, Private Drives & Walkways & Roofs	2601		11/15/2023
Forge Landworks	Jordan Campbell	Driveways	2403		11/15/2023
Boulder Creek Landscape & Construction LLC	Ryan Baldwin	Driveways, Parking Lots, Private Drives, Walkways & Roofs	1445		11/15/2023
Danny's Snow Removal	Danny C. Rosselli	Private Drives	1137		11/15/2023
High Mountain Construction Services LLC	Mountain Pulliam	Driveways	1133		11/15/2023
Snowslide Snow Plow Service	Dennis Rux	Driveways & Parking Lots	1873		11/15/2023
Robnett Properties McCall	Mike Robnett	Driveways & Private Streets	1026		11/15/2023
Angel Roofing LLC	David & James Angel		1565	X	
Austin Excavating & Tractor Service	James Austin		1792	X	
Bespoke Properties	Brian Morris		3110	X	
Black Truck Home Repair	John Murphy		2117	X	
Diaz Landscaping	Alejandro Diaz		1855	X	

City Clerk's License Report

Eagle Eye LLC	Dan Wydner		1995	X	
Pole Creek Construction	Brent Page		1976	X	

Peddler Permit Activity

Applicant	Company Represented	Product Sold	Date(s) Permitted	Permit #	Fees Collected
No Activity					

Taxi & Commercial Transportation Driver License Activity

Business Name	Driver Name	Address	BL#	City Taxi License #	Denied	Date Approved	License Expires
No Activity							

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number

AB 23-229

Meeting Date

November 30, 2023

AGENDA ITEM INFORMATION				
SUBJECT: <i>Treasurer's Report as Required by IC §50-208</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer	JS	Originator
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
				Parks and Recreation
COST IMPACT:	N/A	Airport		
FUNDING SOURCE:	N/A	Library		
TIMELINE:	Report Only	Information Systems		
		Grant Coordinator		
SUMMARY STATEMENT: Treasurer's report of accounts and activity of office during the month of October 2023 regarding care, management or disposition of moneys, property, or business of the City. Attached is the October 2023 Report				
RECOMMENDED ACTION: The Council shall examine the report and determine whether additional information from the Treasurer is required.				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

City of McCall, Idaho
 Monthly Financial Dashboard
 Issued on October 20, 2023



City of McCall
 FINANCE

Reporting Period: October 2023

Our Investments and Cash...

Balances as of October 2023

General Fund – Cash & Investments

October 2023	\$ 10,143,166
October 2022	\$ 8,044,241
Unavailable Cash Reserves	\$ 3,512,252
Restricted Cash - Franchise Fees	\$ 1,509,278
Available Cash	\$ 5,121,636

Streets Fund - Cash & Investments

October 2023	\$ 1,299,722
October 2022	\$ 1,460,538
Unavailable Cash Reserves	\$ 988,799
Available Cash	\$ 310,923

Library Fund - Cash & Investments

October 2023	\$ 1,207,467
October 2022	\$ 1,443,497
Unavailable Cash Reserves	\$ 131,947
Restricted Cash - Bldg Fund	\$ 388,017
Available Cash	\$ 687,503

Recreation Fund - Cash & Investments

October 2023	\$ 96,488
October 2022	\$ 406,506
Unavailable Cash Reserves	\$ 447,247
Available Cash	\$ (350,759)

Airport Fund - Cash & Investments

October 2023	\$ 143,257
October 2022	\$ 719,928
Unavailable Cash Reserves	\$ 99,373
Available Cash	\$ 43,884

Capital Projects Fund-Cash & Investments

October 2023	\$ 83,837
October 2022	\$ 78,064

Local Option Tax - Cash & Investments

October 2023	\$ 3,632,505
October 2022	\$ 4,324,730
Available Cash	\$ 3,632,505

Major Fund Cash Flows...

<u>General Fund Revenues and Expense</u>	<u>As % of Budget</u>	<u>As % of FY19- FY23 Avg. Actual</u>
Fiscal Year 2024 Budget	\$ 11,457,177	
Revenues to Date	\$ 473,912	4.14%
Expenditures to Date	\$ 739,651	6.46%
Revenues over Expenditures	\$ (265,739)	
<u>Street Fund Revenues and Expenditures</u>		
Fiscal Year 2024 Budget	\$ 3,199,854	
Revenues to Date	\$ 127,737	3.99%
Expenditures to Date	\$ 353,967	11.06%
Revenues over Expenditures	\$ (226,230)	5.54%
<u>Library Fund Revenues and Expenditures</u>		
Fiscal Year 2024 Budget	\$ 1,511,125	
Revenues to Date	\$ 7,096	0.47%
Expenditures to Date	\$ 50,687	3.35%
Revenues over Expenditures	\$ (43,592)	3.80%
<u>Recreation Fund Revenues and Expenditures</u>		
Fiscal Year 2024 Budget	\$ 2,090,140	
Revenues to Date	\$ 77,563	3.71%
Expenditures to Date	\$ 130,829	6.26%
Revenues over Expenditures	\$ (53,266)	5.73%
<u>Airport Fund Revenues and Expenditures</u>		
Fiscal Year 2024 Budget	\$ 1,387,894	
Revenues to Date	\$ 233,917	16.85%
Expenditures to Date	\$ 68,953	4.97%
Revenues over Expenditures	\$ 164,964	9.64%
<u>Local Option Tax - Streets Fund Revenues and Expenditures</u>		
Fiscal Year 2024 Budget	\$ 9,670,660	
Revenues to Date	\$ 343,300	3.55%
Expenditures to Date	\$ 6,200	0.06%
Revenues over Expenditures	\$ 337,100	10.15%
<u>Water Fund Revenues and Expenditures</u>		
Fiscal Year 2024 Budget	\$ 6,224,332	
Revenues to Date	\$ 375,690	6.04%
Expenditures to Date	\$ 389,907	6.26%
Revenues over Expenditures	\$ (14,217)	9.19%

City of McCall, Idaho
 Monthly Financial Dashboard
 Issued on October 20, 2023



Reporting Period: October 2023

Specific Revenue Collections at a Glance...

		As % of Budget	As % of FY19- FY23 Avg.
<u>Property Tax Collection</u>			
Fiscal Year 2024 Budget	\$ 7,643,826		
Revenues to Date	\$ 8,484	0.11%	0.13%
<u>State Shared Revenue Collection</u>			
Fiscal Year 2024 Budget	\$ 1,216,249		
Revenues to Date	\$ 112,487	9.25%	10.26%
<u>Building Permit Revenue Collection</u>			
Fiscal Year 2024 Budget	\$ 500,000		
Revenues to Date	\$ 25,031	5.01%	4.50%
<u>Local Option Tax - Tourism Revenue Collection</u>			
Fiscal Year 2024 Budget	\$ 1,450,000		
Revenues to Date	\$ 127,699	8.81%	17.06%
<u>Local Option Tax - Streets Revenue Collection*</u>			
Fiscal Year 2024 Budget	\$ 3,214,500		
Revenues to Date	\$ 326,371	10.15%	12.39%

*New Tax and Fund as of January 1, 2016 (percent avg. is 2 year comparison)

Our Investments and Cash... cont'd

Balances as of October 2023

Golf Fund - Cash & Investments

October 2023	\$ 581,604
October 2022	\$ 1,357,036
Unavailable Cash Reserves	\$ 205,110
Available Cash	\$ 376,494

Water Fund - Cash & Investments

October 2023	\$ 5,027,186
October 2022	\$ 6,746,670
Unavailable Cash Reserves	\$ 515,500
Restricted Cash - DEQ Loan Reserve	\$ 411,708
Available Cash	\$ 4,099,979

City of McCall, Idaho
 Monthly Financial Dashboard
 Issued on October 20, 2023



Reporting Period: October 2023

Our Cash Flows Prior Year Comparison

October 2023			October 2022		
<u>General Fund</u>		Percentage	<u>General Fund</u>		Percentage
Fiscal Year 2024 Budget	\$ 11,457,177		Fiscal Year 2023 Budget	\$ 14,196,339	
Revenues to Date	\$ 473,912	4.14%	Revenues to Date	\$ 253,866	1.79%
Expenditures to Date	\$ 739,651	6.46%	Expenditures to Date	\$ 800,801	5.64%
Revenues over Expenditures	\$ (265,739)		Revenues over Expenditures	\$ (546,935)	
<u>Streets Fund</u>			<u>Streets Fund</u>		
Fiscal Year 2024 Budget	\$ 3,199,854		Fiscal Year 2023 Budget	\$ 2,970,601	
Revenues to Date	\$ 127,737	3.99%	Revenues to Date	\$ 28,146	0.95%
Expenditures to Date	\$ 353,967	11.06%	Expenditures to Date	\$ 138,638	4.67%
Revenues over Expenditures	\$ (226,230)		Revenues over Expenditures	\$ (110,493)	
<u>Library Fund</u>			<u>Library Fund</u>		
Fiscal Year 2024 Budget	\$ 1,511,125		Fiscal Year 2023 Budget	\$ 1,212,393	
Revenues to Date	\$ 7,096	0.47%	Revenues to Date	\$ 256,007	21.12%
Expenditures to Date	\$ 50,687	3.35%	Expenditures to Date	\$ 39,007	3.22%
Revenues over Expenditures	\$ (43,592)		Revenues over Expenditures	\$ 216,999	
<u>Recreation Fund</u>			<u>Recreation Fund</u>		
Fiscal Year 2024 Budget	\$ 2,090,140		Fiscal Year 2023 Budget	\$ 2,265,584	
Revenues to Date	\$ 77,563	3.71%	Revenues to Date	\$ 70,405	3.11%
Expenditures to Date	\$ 130,829	6.26%	Expenditures to Date	\$ 182,880	8.07%
Revenues over Expenditures	\$ (53,266)		Revenues over Expenditures	\$ (112,475)	
<u>Airport Fund</u>			<u>Airport Fund</u>		
Fiscal Year 2024 Budget	\$ 1,387,894		Fiscal Year 2023 Budget	\$ 1,868,468	
Revenues to Date	\$ 233,917	16.85%	Revenues to Date	\$ 9,321	0.50%
Expenditures to Date	\$ 68,953	4.97%	Expenditures to Date	\$ 240,538	12.87%
Revenues over Expenditures	\$ 164,964		Revenues over Expenditures	\$ (231,217)	
<u>Local Option Tax (Streets) Fund</u>			<u>Local Option Tax (Streets) Fund</u>		
Fiscal Year 2024 Budget	\$ 9,670,660		Fiscal Year 2023 Budget	\$ 6,321,509	
Revenues to Date	\$ 343,300	3.55%	Revenues to Date	\$ 372,452	5.89%
Expenditures to Date	\$ 6,200	0.06%	Expenditures to Date	\$ 30,729	0.49%
Revenues over Expenditures	\$ 337,100		Revenues over Expenditures	\$ 341,723	
<u>Golf Fund</u>			<u>Golf Fund</u>		
Fiscal Year 2024 Budget	\$ 2,924,075		Fiscal Year 2023 Budget	\$ 2,774,126	
Revenues to Date	\$ 118,981	4.07%	Revenues to Date	\$ 62,971	2.27%
Expenditures to Date	\$ 262,810	8.99%	Expenditures to Date	\$ 68,485	2.47%
Revenues over Expenditures	\$ (143,829)		Revenues over Expenditures	\$ (5,514)	
<u>Water Fund</u>			<u>Water Fund</u>		
Fiscal Year 2024 Budget	\$ 6,224,332		Fiscal Year 2023 Budget	\$ 9,621,637	
Revenues to Date	\$ 375,690	6.04%	Revenues to Date	\$ 391,168	4.07%
Expenditures to Date	\$ 389,907	6.26%	Expenditures to Date	\$ 391,581	4.07%
Revenues over Expenditures	\$ (14,217)		Revenues over Expenditures	\$ (413)	

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-221
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION

SUBJECT: <i>Request Approval of Hangar 101 Lease Agreement for Commercial Airport Tenant - Base Camp Aviation, LLC</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	\$0.	Parks and Recreation		
FUNDING SOURCE:	Generates \$9,600 annual revenue	Airport	EH	Originator
		Library		
TIMELINE:	Dec. 1, 2023 – November 30, 2024	Information Systems		
		Grant Coordinator		

SUMMARY STATEMENT:

Base Camp Aviation, LLC is a commercial helicopter service that leased office space last year at McCall Airport. Base Camp contracts with the US Forest Service and private enterprises and did local helicopter tours last summer. They also provided helicopter flight instruction.

Terms of the lease provide for approximately 1,200 sq. ft. of space in hangar 101 for the period December 1, 2023, through November 30, 2024 leased at \$800.00 per month. This lease will include two parking spaces in front of Hangar 101 for client parking, two spaces on the north side of Hangar 100 for employees and students, and one space for the Base Camp truck to the west of Hangar 101. The lease has been reviewed by legal counsel and meets airport Minimum Standards.

Additionally, this lease demonstrates compliance with FAA Grant Assurances for competition and aeronautical use of Hangar 101.

RECOMMENDED ACTION:

Approve Hangar 101 Lease Agreement for Commercial Airport Tenant – Base Camp Aviation, LLC and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION
Dec. 1, 2022	AB 22-307 Request Approval of a Hangar 101 Lease Agreement for Commercial Airport Tenant – Base Camp Aviation, LLC

Recording Requested by and
When Recorded Return to:

City Clerk City of McCall
216 East Park Street
McCall, Idaho 83638

For Recording Purposes
Do Not Write Above This Line

**Base Camp Aviation, LLC
McCall MUNICIPAL AIRPORT
COMMERCIAL LEASE**

THIS AGREEMENT is made and entered into this day December 1, 2023, by and between THE CITY OF McCALL, IDAHO, a municipal corporation, hereinafter referred to as the “Lessor,” and Base Camp Aviation, LLC, an Idaho limited liability company, hereinafter referred to as the “Lessee.”

W I T N E S S E T H:

That the Lessor, for and in consideration of the rents, covenants and agreements hereinafter mentioned on the part and behalf of the said Lessee to be paid, kept, and performed, does by these presents grant, demise and lease unto the said Lessee, and the said Lessee does by these presents hire, rent, and take from the said Lessor, that certain business premises and common area located in Hangar #101 at the McCall Municipal Airport, to wit:

Please see Exhibit “A” attached hereto.

TO HAVE AND TO HOLD said premises, together with the appurtenances, privileges, rights, and easements thereto belonging, unto the said Lessee for the term of one year, said term to commence on December 1, 2023, and terminate on November 30, 2024, for the rental and upon the terms and conditions as follows:

1. **RENTAL:** Lessee covenants and agrees to pay monthly rent for said premises in the sum of \$800 per month, payable on the 1st day of each month for that month commencing December 1, 2023. A late payment fee of \$75 shall be due and payable for any rent payment made after the due date and shall be payable with that rent.

2. **USE OF PREMISES:** Lessee covenants and agrees that the leased premises shall be used for Lessee’s business purposes and shall not be used for any other purpose or purposes without the prior written consent of Lessor. Lessee understands that the premises are shared with another Lessee, Gem Air, LLC, and that only a portion of the shared space is set aside exclusively for Lessee as set out in Exhibit “A”. Lessee further understands and acknowledges that a portion

of the premises is set aside exclusively for Gem Air, LLC, and that Lessee has no right of possession to the portion of the premises set aside for the other tenant.

3. **VEHICLE PARKING:** Lessor agrees to provide a parking space for Base Camp truck to the west of Hangar 101, as well as two parking spaces for employees and students on the north side of Hangar 100. Additionally, lessor agrees to provide no more than two parking spaces at the north side of Hangar 101 on Deinhard Lane. These spaces are for Lessee's customers use only, and are only to be used for the duration of customer's visit or scenic flight. At no time shall passengers/customers operate vehicles inside the airport perimeter fence. At no time shall vehicles park outside designated parking areas or create a nuisance for adjacent landowners and tenants.

4. **MAINTENANCE:** Lessee agrees to maintain the leased premises in as good condition as the same are in at the time Lessee shall take possession thereof, reasonable wear, tear and damage by the elements excepted, subject to the specific duties imposed upon the respective parties hereto by this Lease with regard to the maintenance of certain portions of the demised premises, and, at the termination of this Lease in any manner, Lessee shall surrender said premises to Lessor in such condition.

Exterior: Lessor agrees to maintain and keep the roof, exterior walls, and foundation in a good state of repair at Lessor's cost and expense, except as to damage occasioned by Lessee's use and occupancy of said premises, including damage by Lessee's customers, employees or those persons going on the leased premises for the purposes of doing business with Lessee. Provided, however, that Lessor shall not be obligated to make any such repairs until written notice has been given by Lessee to Lessor, and Lessor shall not be liable for any damage to Lessee's personal property due to damage to the building, unless Lessor has failed to make the necessary repairs within a reasonable time after written notice of said damage and the need of repairs has been given to Lessor.

Common Area and Landscaping. Lessor shall maintain the common area and landscaping located around the leased premises.

Interior. Lessor agrees to repair the interior of the building, including repairs of electrical fixtures and inside plumbing apparatus, and maintenance and repair of the heating and any air conditioning units.

Interior Janitorial; Common Area. Lessee agrees to clean and maintain the interior of the leased premises. Lessee shall clean the bathroom and clear common spaces of trash after every large group, or on a weekly basis, whichever is more frequent.

5. **ALTERATIONS, FIXTURES, EQUIPMENT, AND IMPROVEMENTS:** Lessee shall make no improvements to the leased premises or add fixtures or equipment, or make alterations to the leased premises, without first receiving Lessor's written consent therefor. Lessee shall have the right to remove any fixtures, equipment, alterations, or improvements with the

expiration of this Lease, if Lessee is not in default of any of the terms and conditions herein and provided further that any damage which might be occasioned by the removal thereof will be repaired at Lessee's expense. Furnishing of leased non-common use space shall be the responsibility of the Lessee.

6. **SIGNS:** Subject to Lessee's compliance with applicable City of McCall sign and design review codes, Lessee shall have the right to place a reasonably sized sign upon the premises advertising Lessee's business and for the purpose of indicating the name and nature of the business carried on by the Lessee in said premises; provided, however, that said sign will not obstruct the vision of the leased property on either side of the property subject to this Lease Agreement. Upon termination of this Lease, Lessee shall have the right to remove said sign from the premises so long as Lessee repairs any damage to the structure occasioned by such removal at Lessee's own cost. Interior signage directing Lessee's customers to the appropriate waiting area shall in in place prior to conducting operations. This signage is at Lessee's expense.

7. **COMPLIANCE WITH LAW:** Lessee agrees to comply with all municipal, state and federal laws, rules, regulations and ordinances and to do all things necessary to stay in compliance with the same. Lessee agrees to keep operating licenses and permits current.

8. **GLASS:** Lessee agrees to replace all broken or damaged glass upon said leased premises; provided that said glass as used as replacement must be of the same quality as that which was broken or damaged.

9. **UTILITIES:** It is expressly agreed that during the full term of this Lease, Lessor shall furnish and promptly pay for all heat for the said premises and shall pay for all other water, gas, electricity, power and other utilities, except telephone and internet service, used in or about said premises, at Lessor's own cost and expense. Lessee shall provide and pay for its telephone and internet service for the premises and provide for the removal of its trash and garbage.

10. **TAXES AND ASSESSMENTS:** Lessee shall pay any personal property taxes and assessments of any kind levied against Lessee's personal property located upon the above described premises, promptly as the same become due.

11. **ASSIGNMENT OR SUBLEASING:** Lessee shall not assign this Lease nor sublet to any other lessee the said leased premises or any portion thereof.

12. **AUTOMATIC CANCELLATION:** It is understood and agreed that voluntary or involuntary filing of bankruptcy, or assignment for the benefit of creditors, or any other act of insolvency by or on behalf of the Lessee shall automatically cancel this Lease, and Lessor shall be entitled to immediate possession of the leased premises.

13. **DAMAGE OR DESTRUCTION:** If the structure located upon the leased premises shall be damaged by fire, the elements, explosions, or other causes, not directly as a result of Lessee's negligence, Lessor will, at Lessor's own proper cost and expense cause the same to be

repaired and restored to the same condition as before such damage was done, subject to delays due to adjustment of insurance claims, strikes and other causes beyond Lessor's control. If the structure shall be so damaged as to be unfit in whole or in part for occupancy or use in the manner and form as theretofore used, Lessor shall cause the same to be promptly restored, repaired and rebuilt and the rents hereby reserved, or a fair and just portion thereof according to the nature and extent of the damage sustained, will be suspended and cease to be payable until said premises shall be restored to the same condition as before such damage was done. In the alternative, and at Lessor's sole option, Lessor may elect not to repair, restore, or replace the damaged property and in that event, this Lease shall terminate, Lessee shall forfeit all rent theretofore paid to Lessor, and neither party shall have any further responsibility or liability under the terms of this Lease.

14. **FIRE HAZARDS:** The Lessee shall not do anything in the premises or bring or keep anything therein which will increase the risk of fire, or which will conflict with the regulations of the fire department or any fire laws, or with any fire insurance policies on the buildings, or with any rules or ordinances established by the board of health, or with any municipal, state, or federal laws, ordinances, or regulations.

15. **LABOR CONTRACTS AND EMPLOYEES:** The parties expressly covenant and agree that all labor contracts and employment agreements with employees shall be made directly with Lessee and that all such employees shall be deemed solely the employees of Lessee and in no way employees of Lessor. Lessee covenants and agrees to indemnify and hold harmless Lessor of and from any liability for any acts of employees of Lessee or any acts of persons working for Lessee under a labor contract.

16. **STAFFING AND SECURITY:** Lessee's customers shall not be within the airport perimeter fence to include inside the leased building space without at least one employee of the Lessee present. Lessee's staff shall ensure all customers exit the perimeter fence and building prior to departing the leased premises. All gates and doors shall be locked prior to departing unless responsibility is assumed by other building tenants. At no time shall the building or gate access codes be given to customers.

17. **RIGHT OF INSPECTION:** Lessor shall have the right to enter the demised premises at any reasonable time to examine the same and to determine the state of repair or alterations which shall or may be necessary for the safety and preservation of the premises.

18. **WASTE PROHIBITED:** Lessee shall not commit any waste or damage to the premises hereby leased nor permit any waste or damage to be done thereto.

19. **LIABILITY:** Lessor shall not be liable for any injury or damage which may be sustained by any customer, person or property of the Lessee, or any other person or persons resulting from the condition of the leased premises or any part thereof, or from any other source or cause whatsoever related to Lessee's business, and Lessee agrees to indemnify and hold harmless Lessor from such liability.

20. **LIABILITY INSURANCE:** Lessee shall maintain a comprehensive liability insurance policy covering the above-demised premises during the term of this Lease with a responsible insurance company, all at the sole cost and expense of Lessee, in the names and for the benefit of Lessee in the sum of \$1,000,000.00 single-limit coverage. Lessee shall furnish Lessor with a certificate of such liability insurance stating that said insurance is in full force and effect during the term of this Lease. Lessor shall be named as an additional insured on said policy.

21. **FIRE AND EXTENDED COVERAGE INSURANCE:** Lessee may maintain fire or casualty insurance, or such other insurance as Lessee deems necessary, on the contents and personal property located on the leased premises owned by Lessee as Lessee desires, and Lessor shall be under no duty or obligation to maintain any insurance on such personal property and contents owned by Lessee.

22. **SURRENDER OF POSSESSION:** Lessee agrees to surrender possession of said leased premises to Lessor at the expiration of this Agreement, or any extension thereof, in the same condition as when the same were entered by Lessee, wear and tear, reasonable use and occupancy and damage by the elements excepted.

23. **DEFAULT AND FORFEITURE:** Time and the strict and faithful performance of every one of the conditions of this Agreement is expressly made the essence of this Agreement. If default is made by the Lessee in payment of any part of Lessee's rent when the same shall become due, or default be made by the Lessee in keeping, performing or observing any of the covenants and agreements herein contained and such default shall remain so for a period of thirty (30) days after written notice shall have been sent by certified or registered mail to Lessee as hereinafter provided, then in such event the Lessor may, at the Lessor's election, either in law or equity seek specific performance of this Agreement or may declare said term and Lease forfeited and ended and re-enter said demised Premises to repossess and enjoy the same as in their first estate, and the effect of such default shall in itself, at the election of Lessor, without further notice or demand constitute a forfeiture and termination of this Lease. If the Lessee shall fail to surrender possession of the demised Premises to Lessor, the Lessee shall be deemed guilty of an unlawful and forcible detention of said Premises. If Lessee shall abandon or vacate said Premises, or if this lease be terminated for breach of any of the covenants and agreements herein contained, Lessee hereby agrees to pay all reasonable expenses incurred by Lessor in obtaining possession of said Premises from Lessee, including reasonable legal expenses and attorney's fees, and to pay such other expenses as the Lessor may incur in putting the Premises in good order and condition as herein provided, and also to pay all other reasonable and necessary expenses or commissions paid by Lessor in releasing the Premises. In the event of notification of default by Lessor to Lessee and Lessee does in fact incur such default, then and in that event, Lessee shall pay, in addition to all arrearage existing under the notice of default, the reasonable attorney's fees incurred by Lessor in sending notice of default.

24. **HAZARDOUS SUBSTANCES:**

Lessor. Lessor represents and warrants that there has been no release of hazardous substances on the property as defined by applicable Federal or State laws and regulations and holds

Lessee harmless from any violation alleged to have occurred prior to Lessee's taking possession of the property. This covenant shall survive the closing of this transaction.

Lessee. Lessee represents and warrants that the premises will never be used for the generation, manufacture, storage, treatment, disposal, release or threatened release of any hazardous substances as those terms are defined in the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended, 42 USC § 9601 et seq. ("CERCLA") Superfund Amendments and Reauthorization Act ("SARA"), applicable state laws or regulations adopted pursuant to either of the foregoing. Lessee agrees to indemnify and hold harmless Lessor against any and all claims and losses resulting from a breach of this provision of this agreement. This obligation to indemnify shall survive the payment of the indebtedness and the satisfaction of this agreement.

25. **ATTORNEY'S FEES:** In the event an action is brought to enforce any of the terms or provisions of this Lease or enforce forfeiture thereof for default thereof by either of the parties hereto, the successful party to such action or collection shall be entitled to recover from the losing party a reasonable attorney's fee, together with such other costs as may be authorized by law.

In case suit shall be brought for an unlawful detainer of the said premises for the recovery of any rent due under the provisions of this Lease, or because of the breach of any other covenant herein contained on the part of Lessee to be kept or performed, Lessee shall pay to Lessor all costs, expenses and attorney's fees which shall be incurred by Lessor in enforcing the covenants and agreements of this Lease Agreement.

26. **NOTICES:** All notices required to be given to each of the parties hereto under the terms of this Agreement shall be given by depositing a copy of such notice in the United States mail, postage prepaid and registered or certified, return receipt requested, to the respective parties hereto at the following address:

Lessor: City of McCall
216 E. Park Street
McCall, ID 83638

With a copy to: City Clerk
216 E. Park Street
McCall, ID 83638

Lessee: Base Camp Aviation, LLC
300 Deinhard Lane, #704
McCall, ID 83638

or to such other address as may be designated by writing delivered to the other party. All notices given by certified mail shall be deemed completed as of the date of mailing except as otherwise expressly provided herein.

27. **REPRESENTATIONS:** It is understood and agreed by and between the parties hereto that there are no verbal promises, implied promises, agreements, stipulations, representations, or warranties of any character excepting those set forth in this agreement.

28. **CIVIL RIGHTS PROVISIONS:** The following obligations are assumed by Lessee and include the following: the Lessee, for itself, its representatives, agents, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree, as a covenant running with the land, that no person on the grounds of race, color, or national origin shall be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities; that in the construction of any improvements on, over, or under such land and the furnishing of services thereon, no person on the grounds of race, color, or national origin shall use the Premises in compliance with all other requirements imposed by or pursuant to Title 49, Code of Federal Regulations, Department of Transportation. Subtitle A. Office of the Secretary, Part 2 1. Department of Transportation-Effectuation Title VI of the Civil Rights Act of 1964, and as said Regulations may be amended; (3) that in the event of breach of any of the preceding nondiscrimination covenants, Lessor shall have the right to terminate this Lease, and to reenter and repossess said land and the facilities thereon. and hold the same as if said Lease had never been made or issued.

29. **BINDING EFFECT:** The provisions and stipulations hereof shall inure to the benefit of and bind the heirs, executors, administrators, assigns and successors in interest of the respective parties hereto.

30. **RECORDING:** The parties hereto agree that they will not record a copy of this Agreement, Lessee's occupancy of said premises being notice of Lessee's interest therein, and the recording of said Lease by Lessee shall, at the option of Lessor, constitute a default in the terms and conditions hereof.

31. **SITUS:** This Lease is established and accepted by the Lessee under the laws of the State of Idaho, and all questions concerning its validity, construction and administration shall be determined under such laws.

32. **HEADINGS:** The bolded paragraph headings are for convenience only and are not a part of this Lease agreement and shall not be used in interpreting or construing this Lease agreement.

33. **SEVERABILITY:** If any portion or portions of this Lease shall be, for any reason, invalid or unenforceable, the remaining portion or portions shall nevertheless be valid, enforceable, and carried into effect, unless to do so would clearly violate the present legal and valid intentions of the parties hereto.

EXHIBIT "A"

Approximately 1,205 square feet of space consisting of:

Office Space: 660 square feet

Common Area: 545 square feet

In Hangar 101, located at 336 Deinhard Lane, McCall, ID 83638.

Base Camp Aviation Office Space (165 sf)		Common Area (200 sf)
Base Camp Aviation Office Space (165 sf)		Restroom Common Area (65 sf)
City of McCall Office Space (165 sf)		Conference Room Common Area (280 sf)
Gem Air Office Space (165 sf)		

EXHIBIT "B"

Fencing

Temporary fencing shall be installed as indicated below. The fencing noted by the solid line must be in place prior to operation. The dashed line is not to scale and, if needed, shall be placed to enable parking compliant with City Code.



Signage

Signs shall be installed at gates and access points on the temporary fence. The sign shall read "NO UNESCORTED PASSENGERS BEYOND THIS POINT". Signs shall be outdoor signs with white background, black letters with a black border 18" x 18" or larger. Lessee may use existing signs from lessee's previous occupancy.

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-222
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION

SUBJECT: <i>Request Approval of the Recreation Dept. Office Space Lease Agreement Extension with Treasure Valley Transit</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
COST IMPACT:	50% of Utility Cost & Value of Building Maintenance Services	Parks and Recreation	AW	Originator
FUNDING SOURCE:	Parks & Recreation Operating Budget to offset building maintenance & janitorial costs.	Airport		
TIMELINE:	November 30, 2023	Library		
		Information Systems		
		Grant Coordinator		

SUMMARY STATEMENT:
 The Parks & Recreation Department administrative staff will continue to require temporary office space during the construction of the new library building and the remodeling of the old library for the remainder of construction. Department staff have been utilizing office space in the transit building at 210 E. Park Street under the attached lease agreement for the two office spaces, as well as shared use with the transit center of the remaining common area which includes, restrooms, lobby, conference room, and break room.

Based on Treasure Valley Transits assessment of contracted building janitorial and maintenance requirements the agreement comes out to a balance in value of office space rent for building services which will be performed by parks and recreation staff. These services are like in nature to those the department is already performing on adjacent city facilities such as City Hall and include janitorial, minor building maintenance, snow removal, and landscape maintenance. In addition, the Parks and Recreation Department will share the duties of front desk services as outlined in the lease agreement.

Department staff estimate building utility costs and maintenance demand to be less than the current costs associated with the annex building and current office space. The value and location of this temporary office space will work well for department day-to-day operations and the feeling is mutual in that it will benefit the community transit operation.

RECOMMENDED ACTION:
 Approve the proposed lease extension agreement for Parks & Recreation Staff office space during the construction period of the new library and remodel of old library space and authorize the mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION



Treasure Valley Transit

LEASE

THIS AGREEMENT is made and entered into this 15th day of October, 2023, by and between TREASURE VALLEY TRANSIT, INC., an Idaho corporation, hereinafter referred to as the “Lessor,” and THE CITY OF McCALL, IDAHO, a municipal corporation, hereinafter referred to as the “Lessee.”

WITNESSETH:

That the Lessor, for and in consideration of the covenants and agreements hereinafter mentioned on the part and behalf of the said Lessee to be kept and performed, does by these presents grant, demise and lease unto the Lessee, and the Lessee does by these presents hire, rent and take from the Lessor, approximately 495 square feet of that certain business premises located at 210 E. Park Street, McCall, ID, as depicted on Exhibit A attached hereto and, by this reference, incorporated herein as if set forth in full (the “leased premises”).

TO HAVE AND TO HOLD the leased premises, together with the appurtenances, privileges, rights and easements thereto belonging, unto the said Lessee for the term of six (6) months, said term to commence on October 15, 2023, and terminate on April 14, 2024, for the rental and upon the terms and conditions as follows:

1. **SHARED SPACE WITH McCALL TRANSIT CENTER:** The business premises located at 210 E. Park Street, McCall, ID consists of approximately 2,200 square feet. Lessor occupies approximately 1705 square feet of the business premises in which it operates the McCall Transit Center, Lessee is leasing approximately 297 square feet of the business premises, and approximately 198 square feet of the business premises is designated as shared space to include copier area, breakroom and restroom.

2. **VALUE OF CONSIDERATION:** The parties agree that the monetary value of the consideration under this Agreement is the equivalent commercial property at a value of \$1.08 per square foot for a monthly rate of \$535.00 and annual rate of \$6,420.00. The value of consideration for trade services for maintenance is an annual rate of \$4,960.00 (#8). The difference of \$1,460 will be in trade for providing transit related information when transit staff is not available.

3. **SECURE LEASED SPACE:** Lessee is responsible to ensure that the leased premises is locked and secured from the remainder of the business premises when Lessee is not present at the leased premises. Lessor shall not be responsible for any theft of or damage to

Lessee's property located within the leased premises unless caused by Lessor's acts or negligence.

4. RENEWAL: The term of the lease shall automatically continue and be renewed for two (2) additional three month periods following the expiration of the initial term unless either party shall have notified the other, in writing within sixty days from the expiration of the then current lease term, that it does not elect to extend the lease term beyond its then current term. All terms and conditions of the lease during any renewal period shall be the same as during the initial term of this lease.

5. USE OF PREMISES: Lessee shall use the leased premises for City of McCall Parks and Recreation staff and any other business that is compatible therewith, and shall not be used for any other purpose or purposes without the prior written consent of Lessor.

6. USE OF NAME: Lessor agrees that it will not use the words "City of McCall" or various symbols, slogans, logos, or marks owned by or licensed to Lessee as part of Lessor's business, except as an aid in informing the public where City of McCall services are located.

7. TRANSIT FUNCTIONS: Lessee agrees to open the building at 8:00am and close the building at 5:00pm Monday through Friday with the exception of holidays. Lessee agrees to assist transit center staff in providing transit information (location of schedule rack and basic information) to the public on the occasion transit center staff is not available.

8. MAINTENANCE: Lessee shall provide maintenance to the grounds such as lawn care and landscaping, snow removal and custodial services. These services will be provided in trade for the value of consideration as follows: snow removal at $\$50 \times 24 = \1200 ; lawn care and landscaping maintenance at $\$25 \times 16 = \400 ; custodial at $\$70.00 \times 52 = \3360 to include bathrooms, windows, breakroom, lobby and shared space.

9. ALTERATIONS AND IMPROVEMENTS: Lessor is responsible to finish out the space with such tenant improvements as Lessee shall reasonably require for Lessee's purposes.

10. SIGNS, FIXTURES AND EQUIPMENT: Lessee shall have the right to place a reasonably sized sign upon the premises indicating Lessee's presence in the building. Upon termination of this Agreement, Lessee shall have the right to remove said sign from the premises so long as Lessee repairs any damage to the structure occasioned by such removal at Lessee's own cost.

11. COMPLIANCE WITH LAW: Lessee agrees to comply with all municipal, state and federal laws, rules, regulations and ordinances and to do all things necessary to stay in compliance with the same.

12. UTILITIES: Lessor and Lessee shall equally divide the monthly cost of water, sewer, electricity, internet and other utilities used in or about the leased premises. Lessee will, at Lessee's option and expense, install and maintain its own telephone system.

13. ASSIGNMENT OR SUBLEASING: Lessee shall not assign this Lease nor sublet to any other lessee the said leased premises or any portion thereof, without the written consent first obtained of Lessor; provided, however, such consent shall not be unreasonably withheld by Lessor.

14. RIGHT OF INSPECTION: Lessor shall have the right to enter the leased premises at any reasonable time to examine the same and to determine the state of repair or alterations which shall or may be necessary for the safety and preservation of the premises.

15. LIABILITY INSURANCE: Lessee shall include the leased premises in the coverage held by Lessee under Lessee's ICRMP policy. Lessor shall obtain general liability insurance coverage for the entire business premises in amounts at least equal to the Idaho Tort Claims Act limits.

16. FIRE AND EXTENDED COVERAGE INSURANCE: Lessee shall have no duty or obligation to maintain fire or extended coverage insurance on the structures located on the business premises and Lessor may maintain any such insurance on said premises and the structures thereon as Lessor desires. Lessor shall be under no duty or obligation to maintain fire, casualty or other insurance upon the personal property and contents of the leased premises or other personal property owned by Lessee and Lessee may maintain such insurance on said contents and personal property owned by Lessee as Lessee desires.

17. SURRENDER OF POSSESSION: Lessee agrees to surrender possession of said leased premises to Lessor at the expiration of this Agreement, or any extension thereof, in the same condition as when the same were entered into by Lessee, wear and tear, reasonable use and occupancy and damage by the elements excepted.

18. DEFAULT AND FORFEITURE: Time and the strict and faithful performance of each and every one of the conditions of this Agreement are expressly made the essence of this Agreement.

If default be made by either party in keeping, performing or observing any of the covenants of this Lease or failing to perform any other obligation imposed by this Lease, such shall constitute a default hereunder, and if the defaulting party shall fail to cure that default within thirty (30) days after the non-defaulting party has served notice upon the defaulting party of said default indicating the manner in which the defaulting party is in default, the non-defaulting party, immediately, and without further notice or demand, shall have any or all of the following rights and options:

(a) To specifically enforce this Lease Agreement by suit in equity;

(b) to declare this Lease Agreement null and void, forfeited and terminated, as of the date of the breach;

If Lessee shall fail to surrender possession of the leased premises to Lessor, upon demand by Lessor, the Lessee shall be deemed guilty of an unlawful and forcible detention of said leased property. If Lessee shall abandon or vacate said leased property, or if this Lease Agreement be terminated for breach of any of the covenants and agreements herein contained, Lessee hereby agrees to pay all reasonable expenses incurred by Lessor in obtaining possession of said leased property from Lessee, including reasonable legal expenses and attorney's fees, and to pay such other expenses as the Lessor may incur in putting the leased property in good order and condition as herein provided, and also to pay all other reasonable and necessary expenses or commissions paid by Lessor in re-leasing the leased property. In the event of notification of default by Lessor to Lessee and Lessee does in fact cure such default, then and in that event Lessee shall pay, in addition to all arrearages as existing under the notice of default, the reasonable attorneys fees incurred by Lessor in determination of the default and the notification to the defaulting Lessee.

The foregoing rights and remedies are not intended to be exclusive, and all parties shall have any and all other remedies permitted in law or equity. The rights and remedies of the parties are not intended to be mutually exclusive except to such extent that they are inherently and necessarily contradictory, and it is intended that all permissible remedies and rights may be exercised concurrently or successively, or both.

19. HAZARDOUS SUBSTANCES – LESSOR: Lessor represents and warrants that there has been no release of hazardous substances on the property as defined by applicable Federal or State laws and regulations and holds Lessee harmless from any violation alleged to have occurred prior to Lessee's taking possession of the property. This covenant shall survive the closing of this transaction.

20. HAZARDOUS SUBSTANCES - LESSEE: Lessee represents and warrants that the premises will never be used for the generation, manufacture, storage, treatment, disposal, release or threatened release of any hazardous substances as those terms are defined by applicable Federal or State laws and regulations. Hazardous substances brought onto the premises will be those that are reasonably related to the use of the property (cleaning supplies, park maintenance chemicals and office supplies such as printer toner that could be classified as hazardous substances).

21. ATTORNEY'S FEES: In the event an action is brought to enforce any of the terms or provisions of this Lease, or enforce forfeiture thereof for default thereof by either of the parties hereto, the successful party to such action or collection shall be entitled to recover from the losing party a reasonable attorney's fee, together with such other costs as may be authorized by law.

In case suit shall be brought for an unlawful detainer of the said premises for the recovery of any rent due under the provisions of this Lease, or because of the breach of any other covenant herein contained on the part of Lessee to be kept or performed, Lessee shall pay to Lessor all costs, expenses and attorney's fees which shall be incurred by Lessor in enforcing the covenants and agreements of this Lease Agreement.

22. NOTICES: All notices required to be given to each of the parties hereto under the terms of this Agreement shall be given by depositing a copy of such notice in the United States mail, postage prepaid and registered or certified, return receipt requested, to the respective parties hereto at the following address:

Lessor: Treasure Valley Transit, Inc.
1136 W. Finch Drive
Nampa, ID 83651

Lessee: City of McCall, Idaho
216 E. Park St.
McCall, ID 83638
Attn: _____

With a copy to:

McCall City Clerk
McCall City Hall
216 E. Park St.
McCall, ID 83638

or to such other address as may be designated by writing delivered to the other party. All notices given by certified mail shall be deemed completed as of the date of mailing except as otherwise expressly provided herein.

23. REPRESENTATIONS: It is understood and agreed by and between the parties hereto that there are no verbal promises, implied promises, agreements, stipulations, representations or warranties of any character excepting those set forth in this Agreement.

24. ENTIRE AGREEMENT: This Agreement represents the entire agreement of the parties with regard to this matter. Only those terms and conditions specifically set forth herein are applicable to this Agreement. No term or condition that is not specifically set forth herein shall have application to this Agreement.

25. BINDING EFFECT: The provisions and stipulations hereof shall inure to the benefit of and bind the heirs, executors, administrators, assigns and successors in interest of the respective parties hereto.

26. SITUS: This Lease is established and accepted by the Lessee under the laws of the State of Idaho, and all questions concerning its validity, construction and administration shall be determined under such laws.

(i) The Tenant acknowledges that Landlord is the recipient of Federal grants through the Federal Transit Administration ("FTA"), which funded, in part, the Premises. The Tenant further acknowledges that pursuant to FTA grant requirements, the Landlord must demonstrate and retain satisfactory continuing control over the use of the Premises. The Tenant agrees that it will not exercise any right permitted under this Lease in a manner which compromises or otherwise diminishes Landlord's obligation to retain satisfactory continuing control over the use of the Premises.

(ii) Satisfactory continuing control is defined as the legal assurance that FTA-funded property will remain available to be used for its originally authorized purpose throughout its useful life or until disposition.

(iii) The Tenant acknowledges the Federal interest in the Premises and agrees that it will take no action which compromises or otherwise diminishes such interest.

(iv) The Tenant acknowledges that the Landlord must comply with all applicable Federal statutes, regulations, orders, certification and assurances, or other Federal law (collectively referred to as "Federal laws"), including, but not limited to, those set forth in the current FTA Master Agreement governing transit projects supported with Federal assistance awarded through the FTA. The Tenant agrees that it will take no action seeking compliance with non-Federal laws to the extent such laws conflict with applicable Federal laws.

27. SEVERABILITY: If any portion or portions of this Lease shall be, for any reason, invalid or unenforceable, the remaining portion or portions shall nevertheless be valid, enforceable and carried into effect, unless to do so would clearly violate the present legal and valid intentions of the parties hereto.

IN WITNESS WHEREOF, the Lessor and Lessee do execute this Lease Agreement the day and year first above written.

LESSOR: TREASURE VALLEY TRANSIT, INC.

By: 

LESSEE: THE CITY OF McCALL, IDAHO

By: _____

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-223
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION

SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
<i>Request to Direct staff to prepare Findings and Conclusions for CUP-23-02 – 507 1ST Street Short Term Rental for James Bode</i>		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development	BP	Originator
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
		Airport		
COST IMPACT:	N/A	Library		
FUNDING SOURCE:	N/A	Information Systems		
TIMELINE:	N/A	Grant Coordinator		

SUMMARY STATEMENT:

An Application for a Conditional Use Permit to utilize an existing Single-Family Home as a Short-Term Rental with an occupancy exceeding 10 persons.

During their regularly scheduled October 3, 2023 meeting, the McCall Area Planning & Zoning Commission conducted a properly noticed public hearing and recommended approval of the subject application.


The Staff Report, McCall Area Planning & Zoning Commission Findings of Fact, Conclusions of Law, and Decision, and application materials are attached. The City Council Findings of Fact, Conclusions of Law, and Decision document will be prepared and brought forward for review and approval at a future meeting.

RECOMMENDED ACTION:

1. Conduct a public hearing for the subject application
2. Direct staff to prepare findings and conclusions to for CUP-23-02 – Regarding the 507 1ST Street Short Term Rental for James Bode with suggested conditions of approval identified in the Staff Report and authorize the Mayor to sign all necessary documents

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION



CUP-23-02
SHORT TERM RENTAL

507 1st Street

McCall City Council
Staff Report
November 30, 2023

Executive Summary

Description

An Application for a Conditional Use Permit to utilize an existing Single-Family Home as a Short-Term Rental with an occupancy exceeding 10 persons.

Discussion

- The applicant is proposing to utilize an existing 2016 square foot, five (5) bedroom residence as a short term rental. McCall Code Section 3.13.09(C)(3) establishes the occupancy of the residence at two (2) persons per bedroom plus an additional two (2) persons, for a maximum occupancy of twelve (12) persons. McCall Code Section 3.13.09(C)(3) requires a conditional use permit for all short term rentals with a maximum occupancy of ten (10) or more persons.
- The site plan identifies five (5) parking spaces for the property. Two are in a driveway facing Washington Street, one (1) is in the garage facing 1st Street, and two (2) are in a driveway facing 1st Street. It does not appear that there is adequate distance from between the building and western property boundary along 1st Street to fit a parking space with the dimensions identified in McCall Code Section 3.8.062(A). No parking should be permitted to occur in the driveway facing 1st Street.
- The applicant has not completed the other items beyond receiving a conditional use permit to receive a short term rental permit from the McCall City Clerk’s Office because of noncompliance with the fire, health, and safety requirements of McCall City Code. Prior to the issuance of a short term rental permit, the applicant should be required to establish compliance with all aspects of Chapter 13, Title IV of McCall City Code.
- During their regularly scheduled October 3, 2023 meeting, the McCall Area Planning & Zoning Commission recommended approval of the subject application with a condition of approval that the applicant provide fire sprinklers. The Commission’s deliberation indicated that the sprinklers were necessary based upon the agency comment of the McCall Fire District. The Fire Chief has since issued a correction to his prior comment indicating that fire sprinklers would not be necessary to bring the structure into conformance with applicable International Fire and Residential Codes. As such, the condition of approval requiring fire sprinklers to be installed should be omitted.

Recommendation

1. During their regularly scheduled October 3, 2023 meeting, the McCall Area Planning & Zoning Commission recommended approval of the subject application.

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The issuance of a short term rental permit	The applicant shall receive final engineering approval.	City Engineer
2.		The applicant shall establish compliance with all aspects of Chapter 13, Title IV of McCall City Code.	Fire Chief

Expirations

1. Pursuant to McCall City Code Section 3.13.034(B), conditional use permit approval shall lapse and become void whenever the applicant has not applied for a short term rental permit within one year from the date of initial approval.

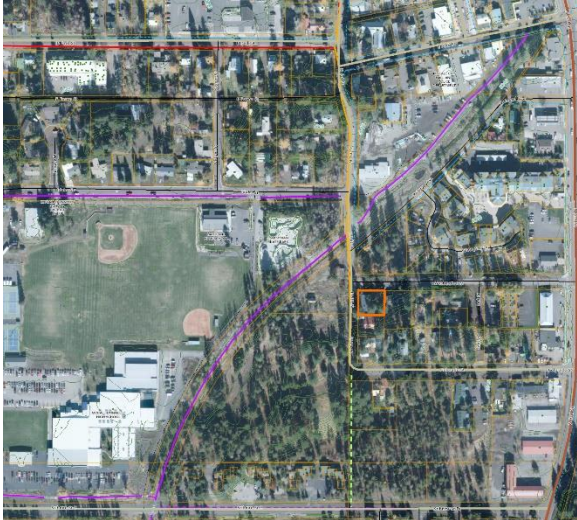
Other

1. No parking shall be permitted to occur in the driveway facing 1st Street.

Project Location



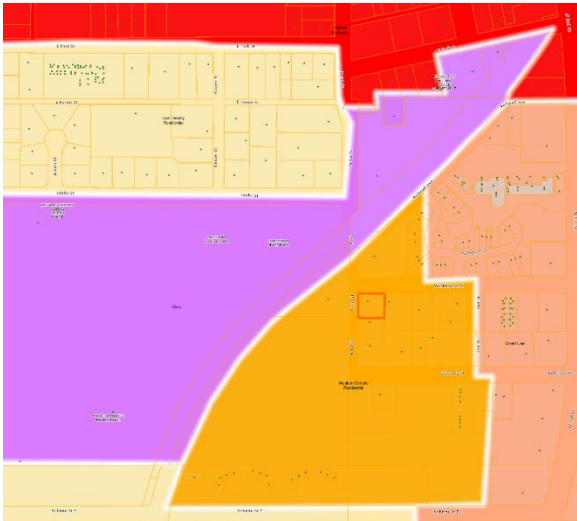
Subject Property



Transportation



Current Zoning



Future Land Use

Project Analysis

Description

An Application for a Conditional Use Permit to utilize an existing Single-Family Home as a Short-Term Rental with an occupancy exceeding 10 persons.

Zoning District:	R8 – Medium Density Residential
Comprehensive Plan Designation:	Medium Density Residential
Project Acreage:	0.19 acres
Proposed Use:	Short Term Rental with an Occupancy in Excess of 10 persons

Legal Description

McCall Acreage Tax No. 242-C situate in the SE ¼ of the SW ¼ of Section 9, T18N, R3E, B.M., City of McCall, Idaho

Associated Documents

Application	Most Recent Revised Submittal Date
Land Use Application	February 23, 2023
Assessor's Report	February 23, 2023
CUP Criteria of Approval Responses	February 23, 2023
Proof of Ownership	February 23, 2023
Neighborhood Meeting Information	February 23, 2023
Plans	February 23, 2023

Prior Hearings

Hearing	Date	Action	URL
Pre Application	February 7, 2023	N/A	https://youtu.be/rnytjLLjaB8?t=666
McCall Area Planning & Zoning Commission	October 3, 2023	Recommendation for Approval	https://youtu.be/EpYnRQ0JXAI?t=2910

Code Sections of Interest

- McCall Code Section 3.2.02: Meanings of Terms or Words:

DRIVEWAY: A nondedicated vehicular access constructed on private property providing access to not more than five (5) residential dwelling units.

DWELLING, SHORT TERM RENTAL: A dwelling, including a single-family or a multi-family unit, which is rented for the purpose of overnight lodging for compensation, money, rent or other bargained for consideration for a period of one or more days and not more than thirty (30) consecutive days. Short term rentals are also commonly referred to as tourist or vacation rentals. Short term rentals with occupancy of eleven (11) persons or more shall require a conditional use permit.

PARKING AREA: An area reserved for the parking of vehicles consisting of one, or more, parking spaces.

PARKING, ON SITE: The area off of any public or private street, access easement or alley used for the transient storage, with appropriate dimensions, of passenger vehicles, parking stalls, access drives and aisles.

PARKING SPACE, OFF STREET: A space designed and designated for the parking of vehicles located totally outside of the right of way of any street or alley, together with properly designed access to a public street or alley, and maneuvering room.

- McCall Code Section 3.3.02: Residential Use Regulations:

Table 3.3.02 identifies “Dwelling, short term rental, occupancy 11 or more persons” as a conditional use in the R8 – Medium Density Residential zone.

- McCall Code Section 3.8.062(A): Off Street Parking:

Dimensions:

If parking is at:	45 Degrees	60 Degrees	90 Degrees	Parallel
Then the:	Shall be:			
Width of parking ¹	13 feet	10 feet	9 feet ²	9 feet
Length of parking space	15 feet	18 feet	18 feet ²	23 feet
Width of driveway aisle	13 feet	17 feet	20 feet	12 feet

- McCall Code Section 3.13.09: Standards for Dwelling, Short-Term Rentals:

(A) Purposes: The purposes of these requirements for a Short-Term Rental Dwelling are:

1. To ensure that the use of Short-Term Rental Dwellings have no greater impacts than would be created by long-term residential occupancy of the Dwelling;
2. To protect the health, safety and general welfare of occupants of Short-Term Rental Dwellings and the surrounding property owners through an inspection of Short-Term Rental Dwelling structures in compliance with MCC Title 2 and the applicable codes referenced therein; and

3. To protect the rights of property owners adjacent to Short-Term Rental Dwellings to a quiet, safe and neighborly environment free from nuisances that would not exist or would be less intensive but for the use of a Dwelling as a Short-Term Rental.
- (B) Permit Required: Prior to advertising or operating a Dwelling as a Short-Term Rental, any property owner or property manager who leases, rents or otherwise makes available for compensation a Short-Term Rental Dwelling, such property owner or manager must first obtain a Short-Term Rental Permit pursuant to MCC Title 4.
- (C) Standards: All Dwelling Short-Term Rentals shall comply with the following requirements:
1. Access: Owners shall maintain access to the property and structures that is safe and free from obstructions for pedestrians and vehicles and shall be adequately sized and designed so that access to other properties is not impacted nor are unsafe conditions on public streets created contrary to the standards adopted by the McCall Fire District and the City Council.
 2. Parking: All parking for the unit is contained on the site, not more than one (1) parking space per bedroom is provided, all trailers and vehicles shall be parked on an improved surfaced area and shall not allow parking on the public right-of way.
 3. Occupancy: Short-Term Rentals shall contain no more than two (2) persons per bedroom, plus two additional persons, as identified in the Short-Term Rental Permit application and as defined by McCall City Code Section 3.2.02. Total maximum occupancy of the Short-Term Rental shall not exceed ten (10) persons without the issuance of a conditional use permit pursuant to MCC 3.13.03.
 4. Noise: Loud music, outdoor activities or any other source of noise that can be heard beyond the perimeter of the Short-Term Rental premises shall not be generated between the hours of 10:00 p.m. and 8:00 a.m. the following day.
 5. Health and Safety Inspection: Protection of the health and safety of occupants of a Short-Term Rental Dwelling and surrounding property owners shall be ensured through an inspection and approval of the Short-Term Rental Dwelling by the Fire Code Official for the McCall Fire Protection District prior to the issuance of a business license pursuant to MCC Title 4, Chapter 2. Such inspection shall be subject to a fire, health and safety checklist developed by the Fire Code Official and approved from time-to-time by resolution of the City Council.
 6. Posted Notice: A written notice shall be posted in a conspicuous location within the unit that describes restrictions on use of the unit. Such notice shall include, but is not limited to the structure's maximum occupancy, parking requirements, solid waste and fireplace ash disposal, quiet hours, noise restrictions, and restrictions on outdoor activity. A written notice shall also be posted detailing the emergency exiting plan approved by the Fire Code Official, Short-Term Rental business permit number, and the name and phone number of Local Contact Person and property owner.
 7. Events: No Events shall be located at a Short-Term Rental without first obtaining a conditional use permit.
 8. Accessory Dwelling Unit: If the Short-Term Rental is located on a parcel that contains an accessory dwelling unit and a primary residence, then one of the dwellings must be owner occupied or a local housing, non-Short-Term Rental, dwelling unit.

9. Exterior Changes: No exterior changes shall be made to the structures or site conditions at a Short-Term Rental that would eliminate its appearance or use as a Dwelling Unit for long term residency.
- (D) Application Process: An application for a Short-Term Rental business license shall be submitted to the City in compliance with the procedures set forth in Title 4.
- (E) Compliance:
1. All Owners wishing to operate a Short-Term Rental must be in immediate compliance with the provisions of this Section as well as the provisions of Title 4 applicable to Short-Term Rentals as follows:
 - a. All Owners of Short-Term Rentals may continue to operate under existing business licenses through December 31, 2022.
 - b. Owners of existing Short-Term Rentals wishing to operate in 2023 or at any time thereafter must submit an application for a Short-Term Rental Permit to the City according to the provisions of Title 4.
 - c. Any Owner shall submit an application for a Short-Term Rental Permit after October 1, 2022 and must be in general compliance with all the Short-Term Rental regulations in this chapter and Title 4 by January 1, 2024. All permits will expire on December 31 of each year and must be renewed annually.
- (F) Enforcement of the requirements set forth in this section shall follow the enforcement provisions of MCC Title 4.

[Required Findings Code Sections:](#)

- McCall Code Section 3.13.03(B) Conditional Use Permit Standards:
Findings For Granting Permit: A conditional use permit shall be granted only if the commission finds that the use, as applied for, in fact will:
 1. Constitute a conditional use authorized in the zone involved.
 2. Be harmonious with and in accord with the general objectives and with any specific objectives of the comprehensive plan and/or this title.
 3. Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or likely character of the neighborhood, and that such use will not change the essential character of the surrounding area.
 4. Not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of such proposed use.
 5. Not cause any substantially harmful environmental consequences to any land or waters within the planning jurisdiction.
 6. Not create excessive additional public cost for public facilities and services, and will not be detrimental to the economic welfare of the community.
 7. Be served adequately by essential public facilities and services including highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools. The applicant may be required, as a condition of approval, to mitigate any deficient public service.
 8. Not involve uses, activities, processes, materials, equipment or conditions of operation that will cause unreasonable production of traffic, noise, smoke, fumes, glare, odors or other forms of pollution.

9. Have vehicular approaches to the property so designed as not to create a detrimental interference with traffic on surrounding public or private thoroughfares, or adversely affect the pedestrian environment.
10. Not result in the destruction, loss or damage of an important natural, scenic or historic feature.
11. Be on a site of sufficient size to accommodate the proposed use, including the yards, open spaces, snow storage, walls, fences, parking areas, loading zones and design standards applicable.
12. Have a minimal negative economic impact on the neighborhood or surrounding community.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Medium Density Residential:
This land use designation supports the development of medium density singlefamily housing and is intended to maintain traditional residential neighborhoods. *Implementing Zoning Districts: R8*

Discussion

- The applicant is proposing to utilize an existing 2016 square foot, five (5) bedroom residence as a short term rental. McCall Code Section 3.13.09(C)(3) establishes the occupancy of the residence at two (2) persons per bedroom plus an additional two (2) persons, for a maximum occupancy of twelve (12) persons. McCall Code Section 3.13.09(C)(3) requires a conditional use permit for all short term rentals with a maximum occupancy of ten (10) or more persons.
- The site plan identifies five (5) parking spaces for the property. Two are in a driveway facing Washington Street, one (1) is in the garage facing 1st Street, and two (2) are in a driveway facing 1st Street. It does not appear that there is adequate distance from between the building and western property boundary along 1st Street to fit a parking space with the dimensions identified in McCall Code Section 3.8.062(A). No parking should be permitted to occur in the driveway facing 1st Street.
- The applicant has not completed the other items beyond receiving a conditional use permit to receive a short term rental permit from the McCall City Clerk's Office because of noncompliance with the fire, health, and safety requirements of McCall City Code. Prior to the issuance of a short term rental permit, the applicant should be required to establish compliance with all aspects of Chapter 13, Title IV of McCall City Code.
- During their regularly scheduled October 3, 2023 meeting, the McCall Area Planning & Zoning Commission recommended approval of the subject application with a condition of approval that the applicant provide fire sprinklers. The Commission's deliberation indicated that the sprinklers were necessary based upon the agency comment of the McCall Fire District. The Fire Chief has since issued a correction to his prior comment indicating that fire sprinklers would not be necessary to bring the structure into conformance with applicable International Fire and Residential Codes. As such, the condition of approval requiring fire sprinklers to be installed should be omitted.

Comments

Agency

- City of McCall Public Works

In an email dated September 20, 2023, the McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **CUP 23-02** and have the following comments and concerns.

1. The parking shown along 1st Street appears to be encroaching within the public right-of-way. Please provide an updated site plan that identifies property lines and the length of the parking. If the parking spaces are encroaching in the right-of-way, they need to be removed.
2. Fill out the water fixture unit sheet and return it to me. This worksheet is used to help determine proper sizing of the water meter servicing the home.
<https://www.mccall.id.us/media/PWORKS/Water%20Rate/Water%20Rate%20Sheet%20FY22.pdf>

Please let me know if you have any questions or concerns.

- McCall Fire Protection District

See attached letter, dated November 14, 2023.

Public

- Email received on September 23, 2023 from Freddie Van Middendorp, expressing opposition.
- Email received on September 26, 2023 from Dave Koehlinger, expressing opposition.
- Email received on September 30, 2023 from Kay Snodgrass, expressing concern.

Actions

Discussion

- The applicant is proposing to utilize an existing 2016 square foot, five (5) bedroom residence as a short term rental. McCall Code Section 3.13.09(C)(3) establishes the occupancy of the residence at two (2) persons per bedroom plus an additional two (2) persons, for a maximum occupancy of twelve (12) persons. McCall Code Section 3.13.09(C)(3) requires a conditional use permit for all short term rentals with a maximum occupancy of ten (10) or more persons.
- The site plan identifies five (5) parking spaces for the property. Two are in a driveway facing Washington Street, one (1) is in the garage facing 1st Street, and two (2) are in a driveway facing 1st Street. It does not appear that there is adequate distance from between the building and western property boundary along 1st Street to fit a parking space with the dimensions identified in McCall Code Section 3.8.062(A). No parking should be permitted to occur in the driveway facing 1st Street.
- The applicant has not completed the other items beyond receiving a conditional use permit to receive a short term rental permit from the McCall City Clerk's Office because of noncompliance with

the fire, health, and safety requirements of McCall City Code. Prior to the issuance of a short term rental permit, the applicant should be required to establish compliance with all aspects of Chapter 13, Title IV of McCall City Code.

- During their regularly scheduled October 3, 2023 meeting, the McCall Area Planning & Zoning Commission recommended approval of the subject application with a condition of approval that the applicant provide fire sprinklers. The Commission’s deliberation indicated that the sprinklers were necessary based upon the agency comment of the McCall Fire District. The Fire Chief has since issued a correction to his prior comment indicating that fire sprinklers would not be necessary to bring the structure into conformance with applicable International Fire and Residential Codes. As such, the condition of approval requiring fire sprinklers to be installed should be omitted.

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The issuance of a short term rental permit	The applicant shall receive final engineering approval.	City Engineer
2.		The applicant shall establish compliance with all aspects of Chapter 13, Title IV of McCall City Code.	Fire Chief

Expirations

1. Pursuant to McCall City Code Section 3.13.034(B), conditional use permit approval shall lapse and become void whenever the applicant has not applied for a short term rental permit within one year from the date of initial approval.

Other

1. No parking shall be permitted to occur in the driveway facing 1st Street.

From: [Freddie Van Middendorp](#)
To: [Brian Parker](#)
Subject: CUP-23-02, 507 1st Street-James Bode
Date: Saturday, September 23, 2023 11:20:09 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To whom it may concern,

We are writing to oppose the proposed CUP of 507 1st Street to increase the current occupancy limit to exceed 11 people. We are permanent residents of McCall and live several houses away from the Bode's vacation rental where our neighborhood is already heavily impacted by their vacation rental as well as other surrounding ones. The property appears to be used almost exclusively as a vacation rental. We acknowledge that vrbo's are a part of life when living in town, however, we appreciate that the City of McCall does its best to keep the number of persons allowed in vrbos reasonable for both safety and impact reasons. From experience, we can say that vrbos with fewer people tend to have a much quieter family feel, where the larger vrbos on our street typically have more of a party atmosphere -I believe the Bode's vacation rental already has the largest occupancy limit on our street and regularly has multiple (3-4) groups at a time, utilizing the side yard that faces the street (as there is no back yard) to "party" on the deck or around the firepit until late until the evening. Adding more people to this situation would not be advantageous to the neighborhood. I'm not sure what the square footage of their property is, but it does not seem particularly large-the current occupancy actually surprises me as it doesn't seem like that many people can already fit in it. We respectfully request that the allowed occupancy not be increased. Thank you for your time and consideration.

Jamie and Freddie Van Middendorp

--

freddiev@gmail.com

From: [Dave Koehlinger](#)
To: [Brian Parker](#)
Subject: CUP-23-02
Date: Tuesday, September 26, 2023 7:42:15 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brian,

I am responding to your request for written comments on CUP-23-02: 507 1st Street - James Bode. The CUP to use the residence on 1st Street as an STR exceeding 11 people should be denied. I know the previous owners of this house and have been in it countless times. While the house can technically sleep 12 people, 12 people cannot comfortably “live” in the house. As a result, renters often use the firepit in the backyard and are too loud late into the evening. James Bode has every right to use his property as a short term rental, but his home is not large enough for 12 occupants and our quiet corner of downtown suffers for it.

Respectfully,

Dave Koehlinger
-Silverpine Resident

From: [Kay Snodgrass](#)
To: [Brian Parker](#)
Subject: Application for CUP-23-02 at 507 1st St., McCall
Date: Saturday, September 30, 2023 4:30:06 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mr. Parker:

It was our understanding that the reduction in number of guests per bedroom was done for the safety of the guests. If we allow an increase for one vacation rental owner, will there be more applying to make adjustments to this restriction?

If so, what's the point?

More people, more noise, more vehicles..... Right now, Mr. Bode's guests rarely park on the street. Would that change with increasing numbers? Would Mr. Bode consider putting up a 6 foot fence on the south and east sides of his property to buffer the noise disturbance created by guests? Would the city waive its fence restrictions to allow that to happen?

We appreciate your time in reviewing our concerns.

Roger and Kay Snodgrass
205 Colorado St.
McCall

Sent from my iPad

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
BODE SHORT TERM)
RENTAL)
)
Conditional Use Permit)
)
Application Number:)
CUP-23-02)

**FINDINGS OF FACT, CONCLUSIONS OF LAW,
AND DECISION**

FINDINGS OF FACTS

Applicant: James Bode

Representative(s): None

Application: An Application for a Conditional Use Permit to utilize an existing Single-Family Home as a Short-Term Rental with an occupancy exceeding 10 persons.

Location: McCall Acreage Tax No. 242-C situate in the SE ¼ of the SW ¼ of Section 9, T18N, R3E, B.M., City of McCall, Idaho

Property Address: 507 1st Street, McCall

Public Notices: Newspaper: The Notice of Hearing was published in the *Star News* on September 14, 2023.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on September 12, 2023.

Posting: The Notice of Hearing was posted by the applicant on the subject property on September 12, 2023.

Procedural History: A neighborhood meeting was held on January 23, 2023. A preliminary development plan review was conducted by the Planning and Zoning Commission on February 7, 2023. A public hearing before the Planning and Zoning Commission was held on October 3, 2023.

Zoning: R8 – Medium Density Residential

Property Size: 0.19 acres

APPROVAL STANDARDS

Title 3, Chapter 13

Conditional Use Permit

A Conditional Use permit shall be granted only if the Commission finds that the use, as applied for, will:

1. Constitute a conditional use authorized in the zone involved.

“Dwelling, short term rental, occupancy 11 or more persons” is identified as a conditional use within the R8 – Medium Density Residential zone.

2. Be harmonious with and in accord with the general objectives and with any specific objectives of the comprehensive plan and/or this title.

The proposed use is in accord with the general objectives of McCall City Code Title III and the McCall Area Comprehensive Plan. Conditions of approval may be placed on the development to ensure compatibility with the specific objectives of the comprehensive plan and McCall City Code Title III.

3. Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or likely character of the neighborhood, and that such use will not change the essential character of the surrounding area.

The applicant is required to be in conformance with the short term rental regulations of McCall City Code.

4. Not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of such proposed use.

The applicant is required to be in conformance with the short term rental regulations of McCall City Code.

5. Not cause any substantially harmful environmental consequences to any land or waters within the planning jurisdiction.

No substantial environmental consequences are anticipated from the proposed use.

6. Not create excessive additional public cost for public facilities and services, and will not be detrimental to the economic welfare of the community.

The proposed use is unlikely to create additional public cost nor will it be detrimental to the economic welfare of the community.

7. Be served adequately by essential public facilities and services including highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools. The applicant may be required, as a condition of approval, to mitigate any deficient public service.

Because the structure is required to include fire sprinklers and be in conformance with the short term rental requirements of McCall City Code, the proposed use is likely to be adequately served by essential public services.

8. Not involve uses, activities, processes, materials, equipment, or conditions of operation that will cause unreasonable production of traffic, noise, smoke, fumes, glare, odors or other forms of pollution.

No use involving unreasonable noise, smoke, fumes, glare, or odors is proposed. The applicant is required to maintain quiet hours between 10:00 PM and 8:00 AM.

9. Have vehicular approaches to the property so designed as not to create a detrimental interference with traffic on surrounding public or private thoroughfares, or adversely affect the pedestrian environment.

The applicant is prohibited from parking in locations that would interfere with public right of way.

10. Not result in the destruction, loss or damage of an important natural, scenic or historic feature.

No impacts on natural, scenic, or historic features are anticipated to occur from this development.

- 11. Be on a site of sufficient size to accommodate the proposed use, including the yards, open spaces, snow storage, walls, fences, parking areas, loading zones and design standards applicable.**

Adequate space exists to accommodate the proposed use.

- 12. Have a minimal negative economic impact on the neighborhood or surrounding community.**

No substantial negative impact on the neighborhood or surrounding community is anticipated.

DEPARTMENT/AGENCY/PUBLIC COMMENTS

Agency

- City of McCall Public Works

In an email dated September 20, 2023, the McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **CUP 23-02** and have the following comments and concerns.

1. The parking shown along 1st Street appears to be encroaching within the public right-of-way. Please provide an updated site plan that identifies property lines and the length of the parking. If the parking spaces are encroaching in the right-of-way, they need to be removed.
2. Fill out the water fixture unit sheet and return it to me. This worksheet is used to help determine proper sizing of the water meter servicing the home.
<https://www.mccall.id.us/media/PWORKS/Water%20Rate/Water%20Rate%20Sheet%20FY22.pdf>

Please let me know if you have any questions or concerns.

- McCall Fire Protection District

In an email dated September 5, 2023, the McCall Fire Chief provided the following comments:

The Short-Term Rental (STR) at 507 1st Street still needs to complete a fire inspection, and it should be completed prior to a CUP being considered so that the fire district can comment appropriately.

The home at 507 1st Street was built under the residential code. Idaho's adopted fire code correlates with the Building Code which commercial buildings are built. The fire and building codes do not apply to one- and two-family dwellings built under the residential code, which this home was. The City Building Official determines occupancy classification at the time of construction and can change it if the use of the building changes.

The fire code defines occupancies containing sleeping units where the occupants are primarily transient in nature as being classified as R-1, which includes boarding houses with more than ten occupants, congregate living facilities with more than ten occupants, hotels, and motels. A traditional home, where the occupants are primarily permanent in nature, is classified as R-3. The main difference between the two classifications regarding fire code is that R-1 occupancies require automatic fire sprinkler systems, but R-3 does not.

It is my recommendation to Planning and Zoning, the City Building Official, and the homeowner, based on applying the 2018 International Fire Code to the intended use of the home, R-1, that any STR sleeping more than ten people have automatic fire sprinklers installed, that they be monitored, and that they be inspected annually by an Idaho approved sprinkler company.

Once a life safety inspection has been completed, the fire district can offer more specific comments regarding this property regarding the application for a conditional use permit.

Public

- Email received on September 23, 2023 from Freddie Van Middendorp, expressing opposition.
- Email received on September 26, 2023 from Dave Koehlinger, expressing opposition.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Conditional Use Permits, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 13 of McCall City Code.
2. Adequate notice of the October 3, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Conditional Use Permit Standards set forth in Title 3, Chapter 13 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Conditional Use Permit application for **approval**, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	The issuance of a short term rental permit	The applicant shall receive final engineering approval.	City Engineer
2.		The applicant shall install fire sprinklers.	Fire Chief

3.		The applicant shall establish compliance with all aspects of Chapter 13, Title IV of McCall City Code.	Fire Chief
----	--	--	------------


Expirations

1. Pursuant to McCall City Code Section 3.13.034(B), conditional use permit approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.


Other

1. No parking shall be permitted to occur in the driveway facing 1st Street.

Findings of Fact **adopted** this 7th Day of NOVEMBER, 2023.

DocuSigned by:

 11F89FE13E9A402...
 Robert Lyons, Chair
 McCall Area Planning and Zoning Commission

November 13, 2023 | 9:21 AM PST

Attest: DocuSigned by:

 744967029FAE4A1...
 Brian Parker, City Planner
 City of McCall

November 13, 2023 | 9:33 AM MST

November 14, 2023

Brian Parker, City Planner
City of McCall
216 East Park Street
McCall, ID 83638

Re: CUP-23-02 – 507 1st St – James Bode

Dear Mr. Parker,

Please accept this letter as the amended and superseding comment regarding **CUP-23-02 – 507 1st Street**, which I submitted to the Planning and Zoning Commission on September 5, 2023. My comments on the pending application are stated within the legislative purpose and policy that empowers the McCall Protection Fire District to enforce the 2018 International Fire Code, as adopted by the State Fire Marshal and as modified by the laws of the State of Idaho. In this regard, the pending application meets all requirements.

I encourage the applicant to contact me to share some valuable information on fire safety measures that would benefit the applicant's intended use of their property.

Respectfully,



Garrett de Jong
Fire Chief



City of McCall

Conditional Use Application

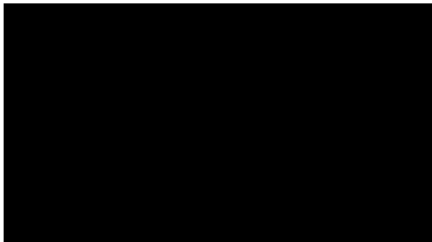
Date: 03/31/2023

Applicant / Additional Billing Contact / Owner

Applicant Name: James Bode
Address:
City, State, Zip:
Phone:
Email:

Addl Billing [Redacted]
[Redacted]
[Redacted]
[Redacted]
Email: jamesbode88@gmail.com

Owner of Record Bode McCall 1 LLC
Name:
Address:
City:
State:
Zip:
Phone:
Email:
Invoice Email:



Owner of Record 2:
Address:
City:
State:
Zip:
Phone:
Email:
Invoice Email:

Property

Site Address: 507 1st Street
 Legal Desc.: A TRACT OF LAND
 LOCATED IN THE SE1/4 OF
 THE SW1/4 OF SECTION 9,
 TOWNSHIP 18 N., RANGE 3
 E.B.M., VALLEY COUNTY,
 IDAHO, MORE
 PARTICULARY DESCRIBED
 AS FOLLOWS:
 COMMENCING AT THE SW
 CORNER OF THE SE1/4
 SW1/4 OF SECTION 9,
 TOWNSHIP 18 N., RANGE 3
 E.B.M.; THENCE N. 0°03' W.
 353.50 FEET; THENCE N.
 89°34' E. 30 FEET TO THE
 SW CORNER OF THIS
 TRACT; THENCE N. 0°03' W.
 176 FEET TO THE TRUE
 POINT OF BEGINNING:
 THENCE CONTINUING N.
 0°03' W. 88 FEET TO A
 POINT; THENCE N. 89°30' E.
 100 FEET TO A POINT;
 THENCE S. 0°03' E. 88 FEET
 TO A POINT; THENCE S.
 89°34' W. 100 FEET TO THE
 POINT OF BEGINNING

Zoning District: R4

Area: City Limits
 Sewer: Payette Lakes Recreational
 Water and Sewer
 Square Footage: 8712

Contractor

Contact Name: Same
 Business Name:
 McCall License #:
 Mailing Address:

Email: jamesbode88@gmail.com
 Phone: 2089910341
 Idaho #:

Annexation Information

Annex Request:
 Adjoining Land Use:
 Parcel Split:
 Parcel Adjoin:

Valley County:
 Conditional Use:
 Project Type: Other Vacation Rental
 Water: City Water
 Neighbor Meeting: 2023-01-23

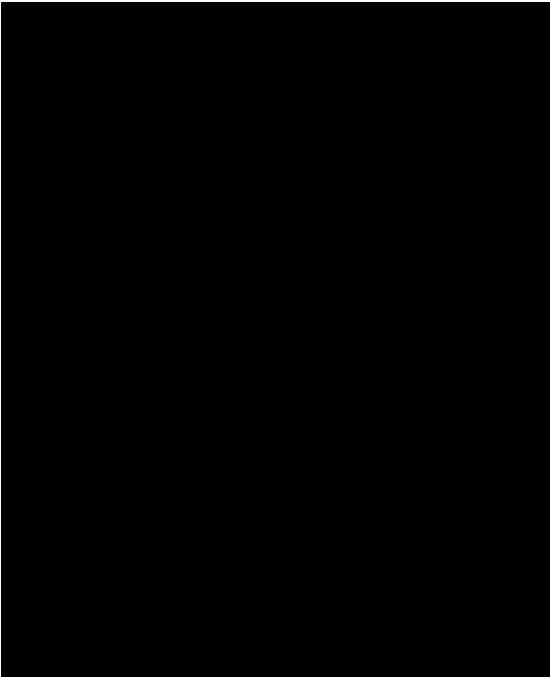
Description: CUP for Vacation Rental that sleeps 10 or more

Companion Applications

Record of Survey:	<input type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>		
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:
 Proposed Cover: 0
 Open Space Sq.Ft.: 0
 # of Parking: 0
 Max Grade %: 0
 Average Grade %: 0
 Total Acreage: 0
 Zoned Density: 0
 Proposed Density: 0
 Total Exist Lot: 0
 Total Proposed Lot: 0
 Min Lot Frontage: 0
 Min Lot Size: 0
 Surveyor Name:
 Surveyor Email:
 Surveyor Phone:
 Subdivision Name:
 Existing Parcels: 0
 Proposed Parcels: 0
 New Construction -1
 Sq Ft:



Sign

Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

 [Redacted Name]
 Name

03/31/2023

 Date



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Distribution Memorandum

Date: August 21, 2023

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Brian Parker, City Planner

CUP-23-02: 507 1st St – James Bode

An Application for a Conditional Use Permit to utilize an existing Single-Family Home as a Short-Term Rental with an occupancy exceeding 11 people. The Property is Zoned R4 – Low Density Residential and is more particularly described as:

McCall Acreage Tax No. 242-C situate in the SE ¼ of the SW ¼ of Section 9, T18N, R3E, B.M., City of McCall, Idaho

Planning and Zoning Meeting Date: September 12th, 2023

Comments Deadline: **September 4th, 2023**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the City Planner at 208-634-4256.

Neighborhood Meeting for Conditional Use Permit related to Vacation Rental at 507 1st Street

My wife and I have been operating our McCall home as a part time Vacation Rental since 2020. With the new City of McCall vacation rental guidelines, we now need to have a Conditional Use Permit as our 5 bedroom home has an occupancy of 12. Under the old rules our home had an occupancy of 14, so this is a reduction in the number of guests that can stay at our property. A Neighborhood Meeting is needed as part of this process, this letter is to inform you of that meeting.

A little background. Our property has ample parking, it is a corner lot and therefore has a total of 6 Outdoor Parking Spots and one additional spot in the garage. Guests should never park on the street. We have signage up letting guests know quiet hours are 10pm to 8am. Our two direct neighbors have our contact information and anytime there has been an issue we have worked quickly to resolve.

This meeting will be held in person, at our residence, 507 1st Street. The time will be January 23rd at 5pm. I will also have a Zoom Meeting up, so if you cannot attend in person, you can Zoom in.

If there should be any problems at our property, you can contact me on my cell phone, 208-991-0341. The occupancy of our property is 12, parking is 6 outside. Cars should never be parked on the street.

James Bode is inviting you to a scheduled Zoom meeting.

Topic: Neighborhood Meeting - CUP - 507 1st Street

Time: Jan 23, 2023 05:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us05web.zoom.us/j/81841412705?pwd=RINlaVB EK0tjeWpaaDdFdTZibVVqdz09>

Meeting ID: 818 4141 2705

Passcode: yv14eY

James Bode

208-991-0341

Jamesbode88@gmail.com

CUP Criteria of Approval Responses: 507 1st Street, McCall

1. Is the use a conditional use in the zone?

Yes, property is zoned Residential, and this is a CUP for a Vacation Rental.

2. Explain the relationship of the proposed used to the Comprehensive Plan.

507 1st Street being used as a vacation rental, specifically one that houses 10 or more people, supports several pillars within the Comprehensive Plan:

1. Moving Around McCall – This property has a location just off of downtown, allowing short term tenants to walk and bike to local shops, restaurants, and even the proposed Enhanced Lakefront Access points. The Brundage Shuttle, Bike Park, Frisby Golf Course, and Greenbelt are all located within a few hundred feet of this property. It is an amazing location for occupants to use all of the services that McCall offers, without them getting in their car, thereby reducing traffic on the roads.
2. Grow Existing Businesses – Similar to what was said above, this vacation rental and its proximity to downtown supports local businesses. Shops, Restaurants, tradesman, cleaners, etc.
3. Our Relationship with Water – Walk and Bike to the Lake, and all of the access points the city offers, is what this vacation rental delivers to its guests.
4. Improve on What We Have – Vacation Rentals pay towards city improvements in the way of the Local Option Tax. This vacation rental alone contributed approximately \$3200 towards this tax base.

3. Explain how the application meets the general and specific objectives of Title 3.

Vacation Rentals fall within Residential Zoning.

4. How is the proposed use harmonious with the character of the existing neighborhood?

The neighborhood in which 507 1st Street resides is a well-kept, older neighborhood just off downtown McCall. This home has a charming exterior, with a kept front yard, and is always well maintained. Investments have been made into the property to make it one of the nicer properties in the neighborhood.

5. How is the proposed use harmonious with the appearance of the existing neighborhood?

507 1st Street is a traditional home built in the 1960's. It currently, and will continue to be of a similar style to the rest of the neighborhood.

6. How will the proposed use NOT be detrimental to the general welfare, health, and safety of the neighborhood?

Care has been taken over the last three years to ensure this home being used as a vacation rental does not have adverse effects on the rest of the neighborhood. Quiet Hours are from 10pm-8am. A hose has been placed near the backyard fire pit. Smoke and Carbon Monoxide Detectors are placed throughout the home. A fire extinguisher is under the kitchen sink. All winter snow is contained within the property, with a pile location on both sides of the property (Corner Lot).

7. How will the proposed use NOT harm the land or water of the subject property and adjacent properties?

Not additional water is used or disposed of based on the use being applied for. See prior question answer in regards to risk mitigation and extra safety steps taken inside and outside of the home in regards to Fire Safety.

8. What public services and facilities will serve the proposed use? Police? School? Streets? Fire? Water? Sewer? Other?

Home is located within the City Limits, so McCall supplies Police Department, School District, Street Maintenance, Fire Department, and Water/Sewer Services.

a. Explain how the proposed project will NOT add incremental costs to each of these services or facilities? If additional cost will be incurred, how will that cost be mitigated?

Being that this property is used as a Vacation Rental and Second Home, school services are not used, and no additional strain is put on city streets, Water, or Sewer.

b. Explain how the proposed project will be served by the above services and facilities.

Trash services are used, and we pay the additional fee for driveway service, so that the trash can is never left on the street, it is wheeled out to the street and back by the trash collector.

9. How will the proposed use NOT cause unreasonable traffic, noise, glare, and other forms of pollution?

Because a vacation rental supplies short term housing for travelers, but typically has a longer stay than a hotel, it actually reduces pollution. Also, because this property is located very close to downtown, occupants tend to travel by foot or bike more than other travelers to the area. This helps to reduce traffic, noise, and pollution in the area.

10. How will the proposed use NOT adversely affect the pedestrian environment?

Like the prior response, because occupants of this cabin tend to walk or bike because of its proximity to downtown and the lake, it encourages pedestrian traffic and makes it safer for pedestrians since there are less cars on the road.

11. How will the proposed use NOT be a detriment to traffic on surrounding streets?

Location being downtown encourages foot traffic, making no negative impact to traffic on the surrounding streets. This home has ample parking, 5 total spots, so no cars are ever parked on the street.

12. How will the proposed use NOT affect scenic features?

This home or the use as a vacation rental with an occupancy of more than 10 do not block any scenic features. The home is adjacent to the skate park and walking trail, but this property does not block or impede either of those.

13. How will the proposed use NOT affect historic features?

This home or the general area surrounding it do not have any history features.


14. Explain how the subject property is of sufficient size to accommodate the proposed use in relation to snow storage, open space requirements, parking areas, landscaping, etc.

This home is located on a corner lot, and because of that it has two spots in the back/side, two spots in the front, and then another parking spot in the garage. This amount of parking is enough for 1 spot per room. Snow is stored in both the front and back/side yards. No snow is moved or stores outside of the boundaries of this property. The yard is landscaped throughout, no unkept or weeded sections are present.

15. Explain how the proposed use will NOT have a negative economic impact on the surrounding neighborhood or community?

McCall has a housing shortage, for residents that want to live here, as well as for travelers/tourists to the area. All precautions have been taken, and will continue to be taken to ensure people that stay in the cabin are safe and respectful of the neighborhood and neighbors. Occupants that stay at this property pay the Local Option Tax, bringing money into the local community to rebuild downtown and help fund other projects locally. These short term tenants also walk downtown and shop at local stores and dine in local restaurants, strengthening the economy in McCall.

Proof of Ownership – 507 1st Street, McCall



STATE OF IDAHO
Lawrence Denney | Secretary of State
Business Office
450 North 4th Street
PO Box 83720
Boise, ID 83720

September 17, 2021

Bode McCall 1 LLC
839 S LONE HOLLOW WAY
EAGLE, ID 83616-4115

Filing Acknowledgment

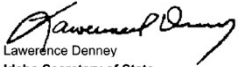
Please review the filing information below and notify our office immediately of any discrepancies.

File #:	4418428	Filing Date:	09/14/2021
Filing Type:	Limited Liability Company (D)	Annual Report Due:	09/30/2022
Status:	Active-Existing	Image #:	B0648-6150
Duration Term:	Perpetual	Receipt #:	000544528

Registered Agent:	Principle Address:	Mailing Address:
James Bode 839 S LONE HOLLOW WAY EAGLE, ID 83616-4115	Bode McCall 1 LLC 507 1ST STREET MCCALL, ID 83638-3819	839 S LONE HOLLOW WAY EAGLE, ID 83616-4115

Congratulations on the successful filing of your **Certificate of Organization of Limited Liability Company for Bode McCall 1 LLC** in the state of Idaho on the date shown above.

You must file an Annual Report with this office on or before the Annual Report Due Date noted above and maintain a Registered Office and Registered Agent. Failure to do so will subject the business to Administrative Dissolution/Revocation.


 Lawrence Denney
 Idaho Secretary of State

Processed By: Business Division



STATE OF IDAHO
Office of the secretary of state, Lawrence Denney
ANNUAL REPORT
Idaho Secretary of State
PO Box 83720
Boise, ID 83720-0080
(208) 334-2301
Filing Fee: \$0.00

For Office Use Only

-FILED-

File #: 0004835868
Date Filed: 8/1/2022 9:55:26 AM

B0728-0350 08/01/2022 9:55 AM Received by ID Secretary of State Laweren

Entity Name and Mailing Address:

Entity Name: Bode McCall 1 LLC
The file number of this entity on the records of the Idaho Secretary of State is: 0004418428
Address: 839 S LONE HOLLOW WAY
EAGLE, ID 83616-4115

Entity Details:

Entity Status: Active-Existing
This entity is organized under the laws of: IDAHO
If applicable, the old file number of this entity on the records of the Idaho Secretary of State was:

The registered agent on record is:

Registered Agent: James Bode
Registered Agent Physical Address: 839 S LONE HOLLOW WAY
EAGLE, ID 83616-4115
Mailing Address: 839 S LONE HOLLOW WAY
EAGLE, ID 83616-4115

Limited Liability Company Managers and Members

Name	Title	Business Address
<input checked="" type="checkbox"/> James Bode	Manager	839 S LONE HOLLOW WAY EAGLE, ID 83616-4115
<input checked="" type="checkbox"/> Amber Bode	Member	839 S LONE HOLLOW WAY EAGLE, ID 83616-4115

The annual report must be signed by an authorized signer of the entity.
Job Title: Manager

James Bode 08/01/2022
Sign Here Date

Instrument # 454998
VALLEY COUNTY, CASCADE, IDAHO
1-10-2023 03:25:31 PM No. of Pages: 1
Recorded for : JAMES BODE
DOUGLAS A. MILLER Fee: 15.00
Ex-Officio Recorder Deputy
Index to: QUITCLAIM DEED

NA

QUITCLAIM DEED

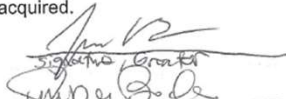
FOR VALUE RECEIVED, James David Bode & Amber Jessica Bode, Grantor, does hereby convey, release, remise and forever quitclaim unto Bode McCall 1 LLC, whose address is 839 S Lone Hollow Way, Eagle, ID 83616, the following described premises, to-wit:

A TRACT OF LAND LOCATED IN THE SE1/4 OF THE SW1/4 OF SECTION 9, TOWNSHIP 18 N., RANGE 3 E.B.M., VALLEY COUNTY, IDAHO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SW CORNER OF THE SE1/4 SW1/4 OF SECTION 9, TOWNSHIP 18 N., RANGE 3 E.B.M.; THENCE N. 0°03' W. 353.50 FEET; THENCE N. 89°34' E. 30 FEET TO THE SW CORNER OF THIS TRACT; THENCE N. 0°03' W. 176 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING N. 0°03' W. 88 FEET TO A POINT; THENCE N. 89°30' E. 100 FEET TO A POINT; THENCE S. 0°03' E. 88 FEET TO A POINT; THENCE S. 89°34' W. 100 FEET TO THE POINT OF BEGINNING, VALLEY county.

Together with the appurtenances.


This deed is intended to convey to the Grantee all right, title, and interest of the Grantor in and to said property, now owned or hereafter acquired.


Date January 10th, 2023


 Signature, Grantor

STATE OF IDAHO)
County of Valley) ss.

On this 10th day of January, 2023 before me, the undersigned, a Notary Public in and for said state, personally appeared James Bode & Amber Bode, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that s/he executed the same.


 NOTARY PUBLIC for Idaho
 Residing at: Cascade
 My Commission Expires: 04/21/2025

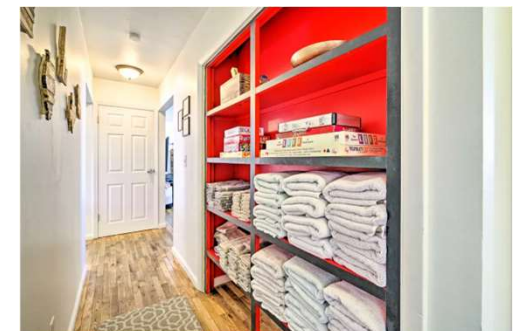


QUITCLAIM DEED
CAO GL 02 Revised 10/10/2003

Photos – 507 1st Street, McCall



Snow Storage



Photos – 507 1st Street, McCall

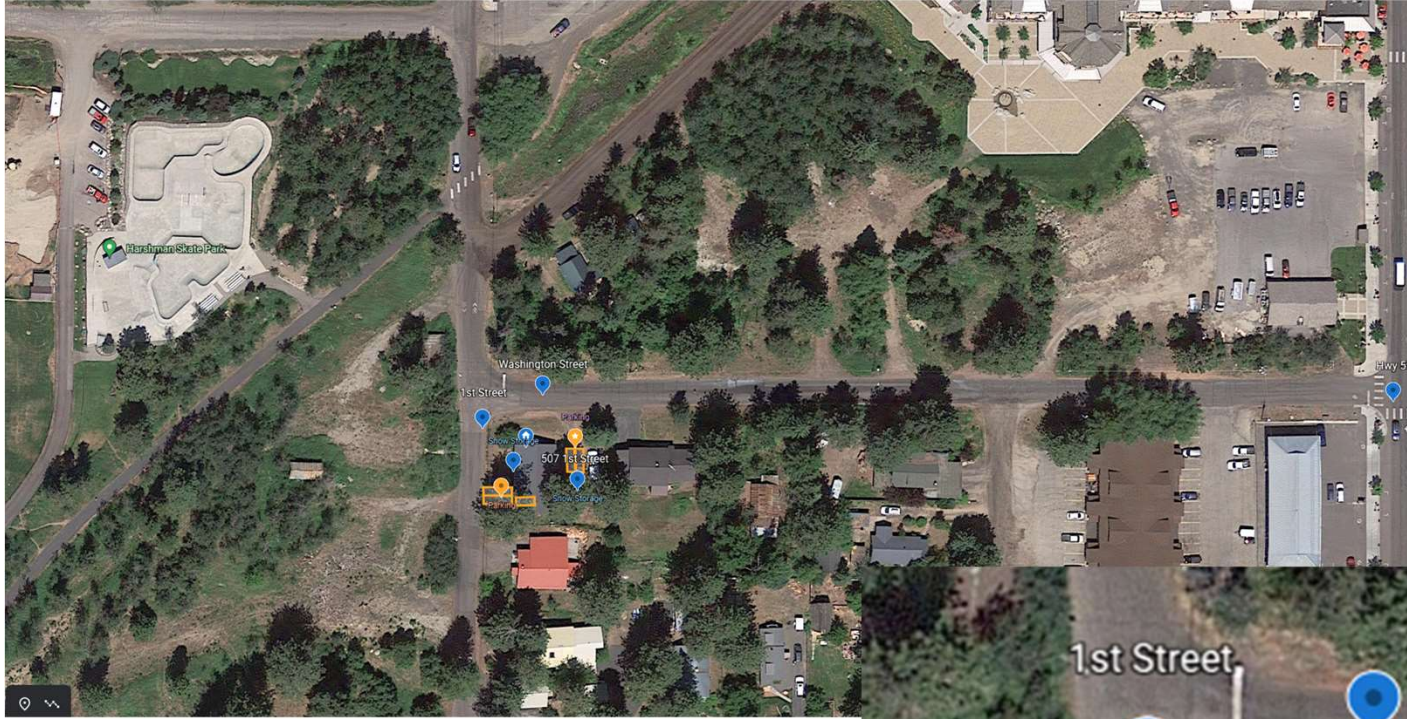
Downstairs Bedrooms/Bathroom



Upstairs

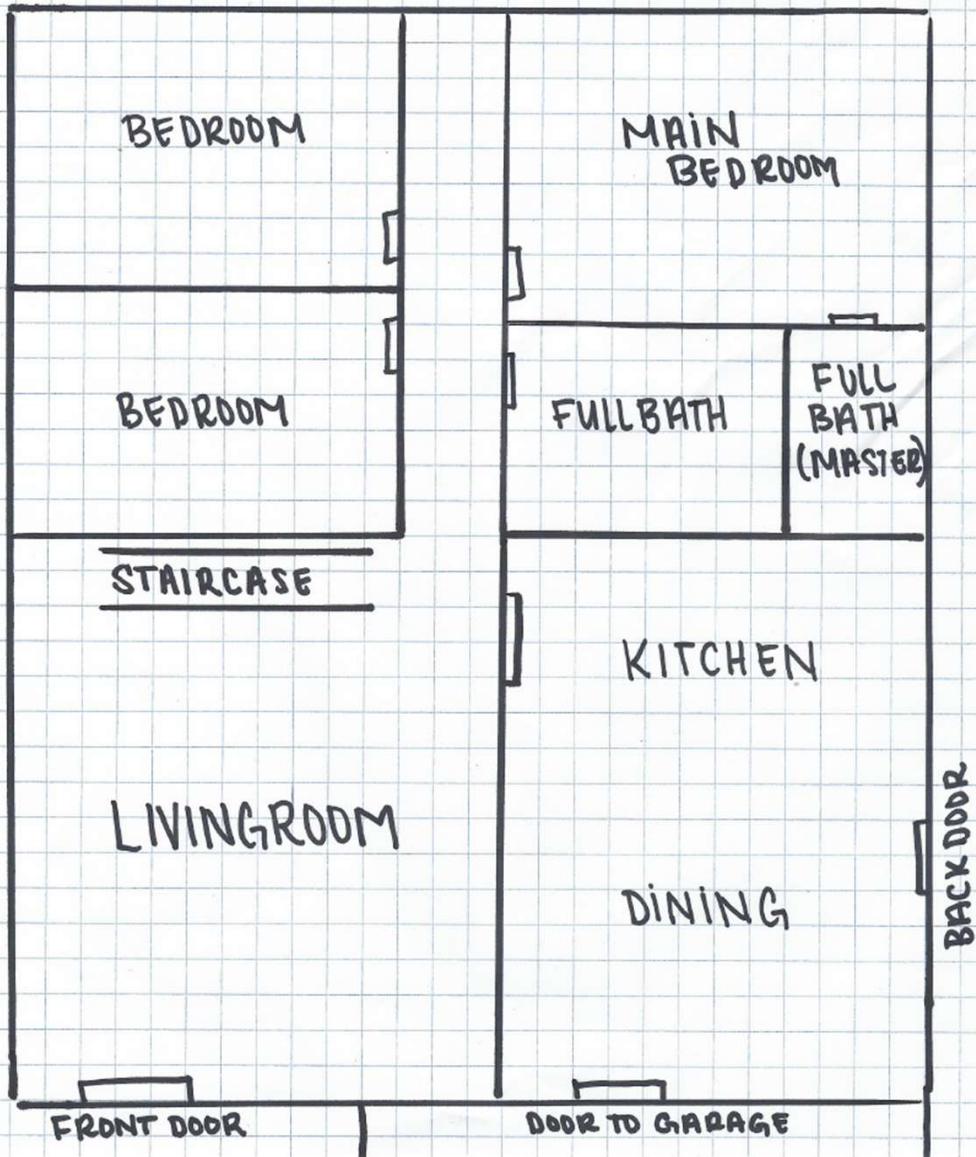


Plot Plan – 507 1st Street, McCall

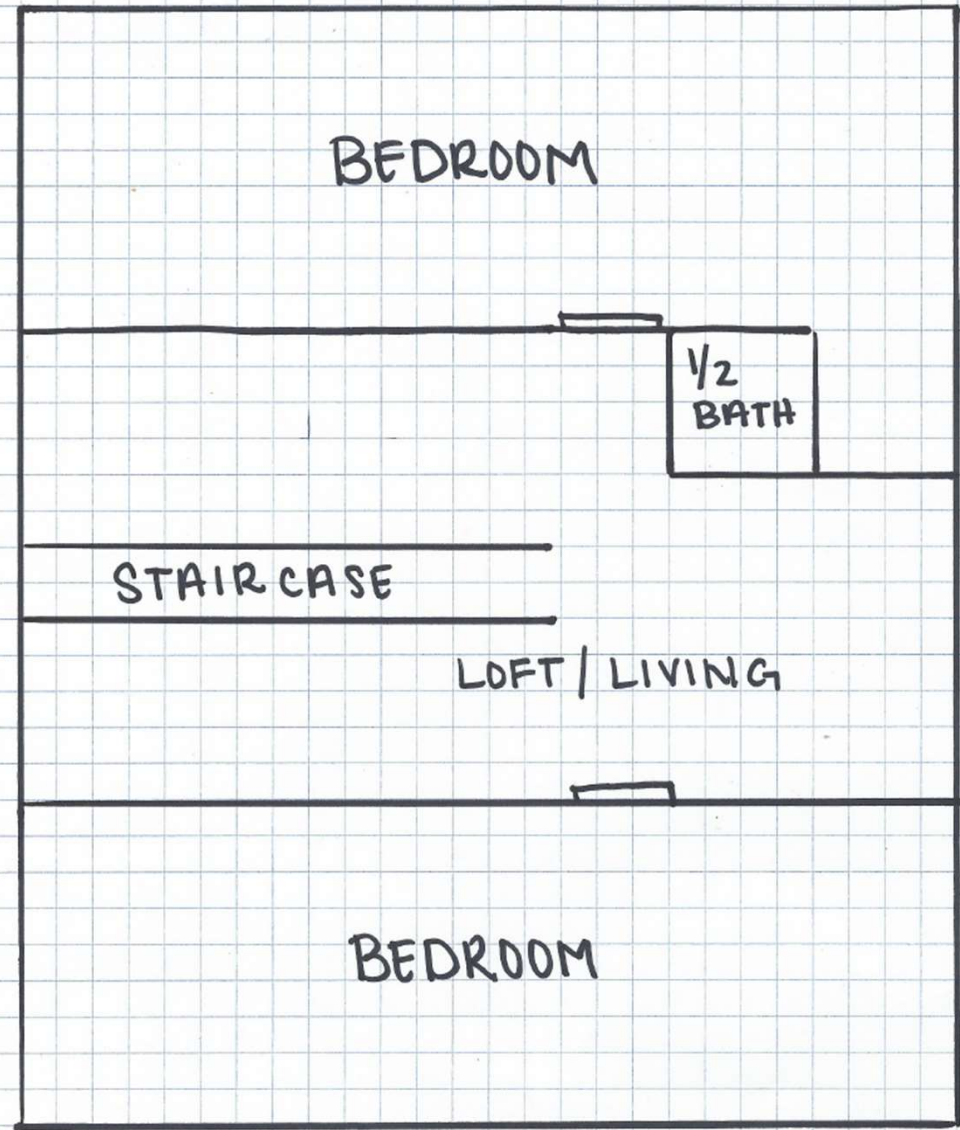


Site Drawings - 507 1st Street

FIRST FLOOR:



SECOND FLOOR



Exterior Lights – 507 1st Street, McCall

Backyard Floodlight



Front door Recessed Light





Short-Term Rental Fire, Health and Safety Inspection Checklist

Property Owner Name

James Bode

Email of Owner

*required if owner wants a copy of inspection
jamesbode88@gmail.com

Property Manager

Address of Short-Term Rental

Street Address
507 1st St

Short-Term Rental Permit Number*

number only, no letters
2237

Assessor Parcel Number

Square Footage

Access & Egress

1. The STR unit is numbered in accordance with the city of McCall's Road naming and site addressing standards.

Compliant Correction Required N/A

Comments:

2. Clear access for emergency vehicles to park within fifty feet (50') of the main entrance to the short-term rental unit shall be provided.

Compliant Correction Required N/A

Comments:

3. Access to the main entrance is free of any obstructions and that any steps, stairs, landings, handrails, or guardrails are in satisfactory condition.

Compliant Correction Required N/A

Comments:

4. All egress passages (windows, doors, walkways) shall be free from obstructions, including snow, year around.

Compliant Correction Required N/A

Comments:

5. All exit doors shall be openable from the inside by a single motion, no key or special knowledge required.

Compliant Correction Required N/A

Comments:

6. All egress pathways shall be provided with emergency illumination capable of illuminating the path in the event of a power outage from bedrooms to main exit(s). * Plug-in or E-bulbs with battery back-up which turn on when power goes out are acceptable.

Compliant Correction Required N/A

Comments:

7. All sleeping areas shall contain an emergency escape and rescue opening installed in accordance with the most recently adopted version of the International Residential Code.

Compliant Correction Required N/A

Comments:

21x33. Windows in downstairs guest bedroom do not meet the minimum opening requirements (5.7 sf) or minimum height from the floor.

8. Sleeping rooms located more than 16 feet above finished exterior grade shall be equipped with an emergency egress ladder. Ladders must be able to be affixed with hooks to a windowsill/retractable and stowed near the inside of the window. A sign on the wall shall be labeled "emergency ladder". **Buildings equipped with fire sprinkler systems are exempt from having emergency egress ladders*

Compliant Correction Required N/A

Comments:

Hazard Detection & Prevention

9. Every room intended for sleeping purposes shall be equipped with interconnected smoke alarms installed in accordance with IRC section 314. Carbon monoxide detectors and smoke detectors shall be "interconnected" (if one detector gets activated/triggered, all smoke and CO detectors must go off) alarms shall be installed in accordance with IRC 315 (in each sleeping room, in hallways near sleeping rooms, and at the top of all stairwells). Smoke and carbon monoxide alarms shall be installed per current code regardless of the age of the structure. Such devices are permitted to be installed in accordance with the exceptions to hardwiring. Interconnection can be achieved by installing wireless or Bluetooth detectors that do not require re-wiring (plug and play).

Compliant Correction Required N/A

Comments:

10. At least (1) 5lb ABC portable fire extinguisher is mounted on each floor, in a conspicuous, unobstructed, unobscured location, which shall be hung between four and five feet above the floor and no further than 75 feet to any point on the floor. Extinguishers older than one year old shall be serviced and service tagged annually by an approved company.

Compliant Correction Required N/A

Comments:

11. Combustible materials are not stored near fuel fired heating equipment, or in special rooms containing fuel fired equipment.

Compliant Correction Required N/A

Comments:

12. Proof of cleaning of woodstove and fireplace chimneys within the previous 365 days prior to the fire, health, and safety inspection.

Compliant Correction Required N/A

Comments:

New wood stove

13. A metal ash bucket and lid shall be provided near any woodstove or fireplace with explicit instructions that no ash shall be dumped in trashcans or dumpsters.

Compliant Correction Required N/A

Comments:

14. Specific instructions should be posted near any wood burning appliance explaining the proper use of the appliance.

Compliant Correction Required N/A

Comments:

15. Any exterior recreational fire pit or containment structure shall be permanently constructed, or a listed commercial product designed for burning wood or propane, no more than three feet in diameter, clear of any combustible material, and a water supply shall be made available for proper extinguishment.

Compliant Correction Required N/A

Comments:

16. Roofing on the structure is Class B or higher fire-retardant roofing.

Compliant Correction Required N/A

Comments:

Electrical, Heating & Utility Infrastructure

17. All electrical, mechanical, and plumbing systems are installed and maintained properly and free from any hazards.

Compliant Correction Required N/A

Comments:

18. Proof of service to LPG furnace systems by a professional within 365 days prior to the fire, health and safety inspection. Proof of service to electric furnace systems by a professional within the previous three years prior to the fire, health and safety inspection.

Compliant Correction Required N/A

Comments:

19. An approved heat source shall be installed that can heat the home to a temperature of 68 degrees at a point 3 feet above the floor. No portable heaters shall be permitted.

Compliant Correction Required N/A

Comments:

20. Propane tanks shall be kept clear of snow in the winter months for emergencies.

Compliant Correction Required N/A

Comments:

21. Propane tank and second stage regulator protection shall meet current city standards, including a combustible gas detector in any residence where propane is used as a fuel source.

Compliant Correction Required N/A

Comments:

22. No temporary wiring shall be permitted.

Compliant Correction Required N/A

Comments:

Fire Suppression

23. For all occupancies that have an automatic fire sprinkler system, or a monitored fire alarm system, proof of annual inspection within the previous 365 days shall be provided.

Compliant Correction Required N/A

Comments:

Posted Notice

24. A notice of the following information is posted in a conspicuous location within the short-term rental unit: (a) the use restrictions (maximum occupancy, number and location of parking spaces, restrictions on parking, solid waste collection, quiet hours and noise restrictions, outdoor activity), (2) emergency exiting plan, (3) instructions for the proper disposal of fireplace or woodstove ash including the prohibition on dumping fireplace ash in trashcans or dumpsters; and the (4) name and phone number of local representative and/or property owner that can be reached on a 24 hour basis in case of emergency and McCall city emergency response phone number (911).

Compliant Correction Required N/A

Comments:

Signature

I, the owner/property manager of , agree to maintain compliance with these requirements throughout the permit period.

Inspection Results

Passed Inspection Reinspection Needed

Inspector's Name

Ryan Garber

Date of Inspection

3/25/2023

Brian Parker

From: John Powell
Sent: Wednesday, August 30, 2023 1:57 PM
To: Brian Parker; Brian Duran (Brian.Duran@itd.idaho.gov); Chip Bowers; Chris Curtin; Cynda Herrick; Dale Caza; Dallas Palmer; Dave Bingaman; dsimmonds50@gmail.com; Delta James; Emily Hart; Garrett de Jong (garrett@mccallfire.com); IDL Jurisdictional Inbox; ITD Development Services; ITD District 3 Permits; Jasen King, IDL; Jeff Bateman; Jeff Mcfadden (jmcfadden@co.valley.id.us); jennifer.schildgen@itd.idaho.gov; Jordan Messner; Kathy Riffie (kriffie@co.valley.id.us); Krystal Giessen; Kurt Wolf; Lance Holloway, DEQ; Laura Shealy BPLWQAC; Laurie Frederick, Valley Co Cartographer; Levi Brinkley; Linda Stokes; Lori Hunter (lhunter@co.valley.id.us); Lorraine Brush; Mark Wasdahl, ITD; Meredith Todd; Michelle Groenevelt; Mike Reno; Morgan Stroud; Nathan Stewart; Rachel Santiago-Govier; Regan Berkley; Sabrina Sims; Scott Corkill, IDL; Sheri Staley - Idaho Power; Steve Moser, Idaho Power; Valley County Road Dept
Subject: RE: City of McCall Request for Comment

See comments below.

From: Brian Parker <barker@mccall.id.us>
Sent: Monday, August 21, 2023 2:31 PM
Subject: City of McCall Request for Comment

All,

Please provide comment on the following items by September 4th.

[ROS-23-01 – TBD Spruce St – Greco Construction](#)

[DR-23-20 & SR-23-14 – 1111 Knowles Rd – David Henderson](#)

Mixed use will require fire sprinklers.

[CUP-23-02 – 507 1st St – James Bode](#)

Verify bedroom windows meet egress standards (sill height and size).

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-227
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
<i>Request to reject all bids for the Downtown Core Reconstruction: 1st Street - Phase 3B Surface Improvements</i>		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works	NTS	Originator
		Golf Course		
		COST IMPACT:	Approximately ~TBD	Parks and Recreation
FUNDING SOURCE:	TAP: ~\$526,000	Airport		
	EDA: ~\$1,651,599	Library		
	CDBG: ~\$66,000			
	Franchise: ~\$TBD			
	Streets LOT: ~TBD			
TIMELINE:	Summer 2024	Information Systems		
		Grant Coordinator		
SUMMARY STATEMENT:				
<p>During October, the City, with the assistance of Horrocks Engineers, conducted formal bidding for the <i>1st Street - Phase 3B Surface Improvements</i> construction contract. The project consists of surface utility, drainage, sidewalk and streetscape, roadway section, paving and signage and striping improvements. The project also includes improving the 1st Street Parking lot. Attached are excerpts from the design plans. This project (Phase 3B) is the second half of Phase 3 of the Downtown Core Reconstruction project. Phase 3A (subsurface utilities) was constructed during summer 2023. Phase 3B will require ~114 days to construct beginning in mid-May and concluding in mid-October.</p> <p>The bid opening occurred on 11/16/23. The city only received two bids during this opening. EDA grant funding requires a minimum of three bids. As a result, Staff is required to reject all bids and rebid the project. The rebid schedule is already underway with new advertising on 11/30, 12/7, and 12/14. A new bid opening date is anticipated for 12/21, with a City Council contract recommendation at the 12/28 meeting.</p>				
RECOMMENDED ACTION:				
Reject both bids for the 1 st Street – Phase 3B Surface Improvements project; and authorize staff to work with Horrocks Engineers on rebidding the project for construction in 2024.				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

November 20, 2023

Mayor Bob Giles and City Council
City of McCall
216 East Park Street
McCall, Idaho 83638

SUBJECT: 1st Street, Phase 3B Surface Improvements – Recommendation to Reject Bids

Dear Mayor and City Council:

Bids for the 1st Street, Phase 3B Surface Improvements project were received and opened on November 16, 2023. We have reviewed the two (2) individual bids received, with the following results:

- Sunnyridge Construction, LLC in the amount of **\$2,545,106.00**
- Granite Excavation Inc. in the amount of **\$2,766,833.11**

This project is partially funded with Federal funds from the United States Department of Commerce, Economic Development Administration, and LHTAC's Transportation Alternatives Program. These funding agencies require that that project receive at least three separate bids, or it must be bid again. If less than three bids are received a second time, the three-bid requirement will be waived.

Due to not meeting the three-bid minimum requirement, it is necessary that the City reject the bids received and rebid the project. A complete breakout of the received bids is provided in the attached bid tabulation, for the City's records.

Sincerely,



Tyson Larson, P.E.
Associate Engineer, Horrocks
P: 208-791-6776 | E: tyson.larson@horrocks.com



1st STREET, PHASE 3B SURFACE IMPROVEMENTS, McCALL

Bid Opening 11/16/2023

LHTAC PROJECT NO. A022(950); KEY NO. 22950

EDA Award No. 07-79-07929



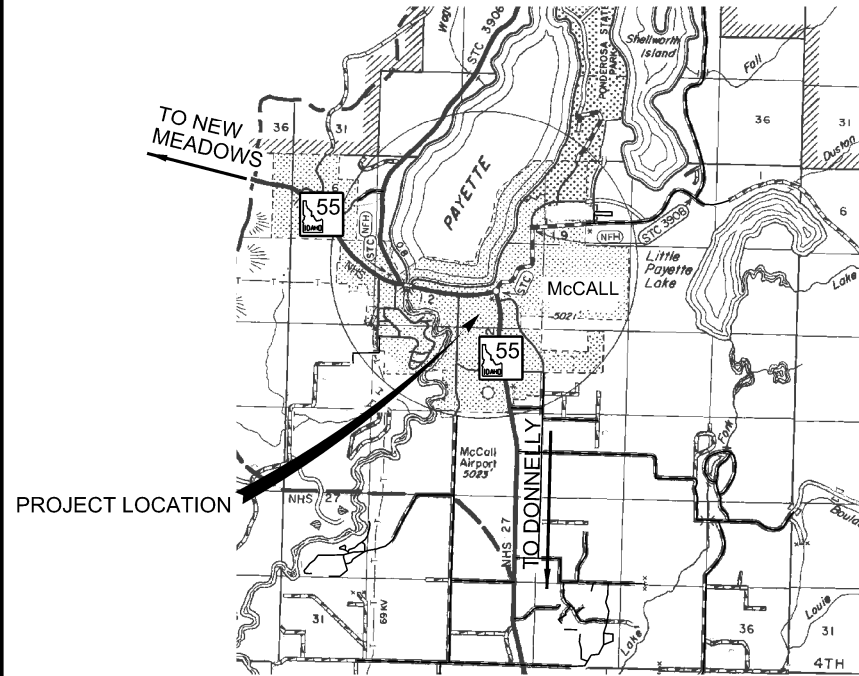
Bid Tabulation Summary				Sunnyridge Construction, LLC		Granite Excavation Inc.	
Bid Manual Item No.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	Removal of Asphalt	SY	3243	\$ 6.00	\$ 19,458.00	\$ 4.96	\$ 16,085.28
2	Removal of Sidewalk	SY	429	\$ 30.00	\$ 12,870.00	\$ 26.20	\$ 11,239.80
3	Removal of Landscaping	SY	31	\$ 51.00	\$ 1,581.00	\$ 199.47	\$ 6,183.57
4	Removal of Concrete Curb	LF	494	\$ 10.00	\$ 4,940.00	\$ 12.98	\$ 6,412.12
5	Removal of Roadside Sign (Return to McCall Public Works)	EA	6	\$ 115.00	\$ 690.00	\$ 318.29	\$ 1,909.74
6	Removal of Bollard	EA	2	\$ 115.00	\$ 230.00	\$ 385.55	\$ 771.10
7	Excavation	CY	3477	\$ 32.00	\$ 111,264.00	\$ 43.34	\$ 150,693.18
8	Unsuitable Material Excavation	CY	521	\$ 40.00	\$ 20,840.00	\$ 56.40	\$ 29,384.40
9	Borrow (On-site)	CY	527	\$ 10.00	\$ 5,270.00	\$ 27.10	\$ 14,281.70
10	Borrow (Imported)	CY	100	\$ 74.00	\$ 7,400.00	\$ 79.44	\$ 7,944.00
11	Dust Abatement Water	MG	150	\$ 53.00	\$ 7,950.00	\$ 152.63	\$ 22,894.50
12	Bioretention Basin	SF	2308	\$ 14.00	\$ 32,312.00	\$ 17.56	\$ 40,528.48
13	Exploratory Excavation (Non-groundwater)	MH	12	\$ 650.00	\$ 7,800.00	\$ 888.62	\$ 10,663.44
14	12" Storm Drain Pipe, Polypropylene HP Storm	LF	88	\$ 125.00	\$ 11,000.00	\$ 297.24	\$ 26,157.12
15	Precast Sediment Box - 1000 Gallon	EA	1	\$ 8,000.00	\$ 8,000.00	\$ 13,699.79	\$ 13,699.79
16	Inlet Catch Basin - Type IV (for Rolled Curb), Cast-in-Place	EA	5	\$ 2,100.00	\$ 10,500.00	\$ 8,647.49	\$ 43,237.45
17	Inlet Catch Basin - Type III	EA	1	\$ 6,200.00	\$ 6,200.00	\$ 8,647.49	\$ 8,647.49
18	Curb and Gutter, Type II	LF	990	\$ 40.00	\$ 39,600.00	\$ 71.38	\$ 70,666.20
19	Concrete Sidewalks, thickness 5"	SY	589	\$ 100.00	\$ 58,900.00	\$ 168.30	\$ 99,128.70
20	Concrete Drive Approach	SY	117	\$ 115.00	\$ 13,455.00	\$ 212.14	\$ 24,820.38
21	Concrete Repair	SY	17	\$ 120.00	\$ 2,040.00	\$ 356.00	\$ 6,052.00
22	Pedestrian Ramp w/ Detectable Warning Domes, Modified Type A1	EA	6	\$ 2,000.00	\$ 12,000.00	\$ 4,818.35	\$ 28,910.10
23	Pedestrian Ramp w/ Detectable Warning Domes, Modified Type G	EA	1	\$ 3,100.00	\$ 3,100.00	\$ 6,017.24	\$ 6,017.24
24	Crushed Aggregate for Base Type I (City Provided)	CY	628	\$ 90.00	\$ 56,520.00	\$ 30.55	\$ 19,185.40
25	Crushed Aggregate for Base Type II	CY	2011	\$ 110.00	\$ 221,210.00	\$ 62.65	\$ 125,989.15
26	Diluted Emulsified Asphalt for Tack Coat	GAL	278	\$ 50.00	\$ 13,900.00	\$ 0.01	\$ 2.78
27	1/2" Plant Mix Pavement (SP 3) PG 64-34	SY	2778	\$ 51.00	\$ 141,678.00	\$ 49.16	\$ 136,566.48
28	1/2" Plant Mix Pavement (SP 2) PG 64-34	SY	2657	\$ 46.00	\$ 122,222.00	\$ 40.58	\$ 107,821.06
29	Inlet Protection	EA	9	\$ 75.00	\$ 675.00	\$ 59.87	\$ 538.83
30	2-#6 and 1-#6 Ground (120V Pole Receptacle)	LF	900	\$ 9.00	\$ 8,100.00	\$ 19.00	\$ 17,100.00
31	2-#8 and 1-#6 Ground (Street Light)	LF	761	\$ 8.00	\$ 6,088.00	\$ 18.71	\$ 14,238.31
32	4-#8 and 1#10 Ground, (240V Dual EV Station)	LF	1486	\$ 12.00	\$ 17,832.00	\$ 22.39	\$ 33,271.54
33	3-#10 and 1-#10 Ground	LF	1004	\$ 9.00	\$ 9,036.00	\$ 19.76	\$ 19,839.04
34	4-#8, 2-#6, 3-#10, and 1-#6 Ground	LF	2438	\$ 24.00	\$ 58,512.00	\$ 29.62	\$ 72,213.56
35	4-#8, 4-#6, 6-#10, and 1-#6 Ground	LF	3116	\$ 34.00	\$ 105,944.00	\$ 39.10	\$ 121,835.60
36	Conduit, City IT, 1 1/4" HDPE (3 EA; City Provided)	LF	1200	\$ 37.00	\$ 44,400.00	\$ 20.44	\$ 24,528.00
37	Conduit, 2" RPC	LF	1800	\$ 42.00	\$ 75,600.00	\$ 28.53	\$ 51,354.00
38	Junction Box (Illumination)	EA	23	\$ 2,000.00	\$ 46,000.00	\$ 2,876.81	\$ 66,166.63
39	40" x 44" Junction Box (City IT; City Provided)	EA	7	\$ 4,400.00	\$ 30,800.00	\$ 4,872.38	\$ 34,106.66
40	Service Pedestal	EA	2	\$ 15,000.00	\$ 30,000.00	\$ 14,185.07	\$ 28,370.14
41	Construction Traffic Control	LS	1	\$ 76,000.00	\$ 76,000.00	\$ 59,867.28	\$ 59,867.28

Bid Tabulation Summary				Sunnyridge Construction, LLC		Granite Excavation Inc.	
Bid Manual Item No.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
42	Pavement Line Paint of Painted Pavement Markings	SF	1866	\$ 3.00	\$ 5,598.00	\$ 2.93	\$ 5,467.38
43	Permanent Signing	SF	33	\$ 42.00	\$ 1,386.00	\$ 43.90	\$ 1,448.70
44	Steel Sign Post	LB	126	\$ 8.00	\$ 1,008.00	\$ 8.24	\$ 1,038.24
45	Anchor Assembly	EA	10	\$ 550.00	\$ 5,500.00	\$ 578.71	\$ 5,787.10
46	Manhole, Sanitary Sewer, Adjust to Grade	EA	2	\$ 880.00	\$ 1,760.00	\$ 4,789.39	\$ 9,578.78
47	Manhole, Stormwater, Adjust to Grade	EA	5	\$ 880.00	\$ 4,400.00	\$ 3,325.96	\$ 16,629.80
48	Valve Box, Gate, Adjust to Grade	EA	9	\$ 760.00	\$ 6,840.00	\$ 1,995.58	\$ 17,960.22
49	Miscellaneous Utility, Adjust to Grade, Water Meter	EA	2	\$ 821.00	\$ 1,642.00	\$ 1,777.25	\$ 3,554.50
50	Subgrade Separation Geotextile, Type II	SY	5435	\$ 2.00	\$ 10,870.00	\$ 2.00	\$ 10,870.00
51	Biaxial Geogrid, Type II	SY	100	\$ 6.00	\$ 600.00	\$ 22.06	\$ 2,206.00
52	Concrete Pavers (Furnishing Zone)	SF	1887	\$ 89.00	\$ 167,943.00	\$ 83.16	\$ 156,922.92
53	Landscape Repair	SY	200	\$ 58.00	\$ 11,600.00	\$ 61.20	\$ 12,240.00
54	Irrigation System	LS	1	\$ 173,000.00	\$ 173,000.00	\$ 181,785.80	\$ 181,785.80
55	Tree Grate and Frame	EA	6	\$ 8,100.00	\$ 48,600.00	\$ 10,125.55	\$ 60,753.30
56	Trees	EA	20	\$ 950.00	\$ 19,000.00	\$ 1,956.06	\$ 39,121.20
57	Planting Soil	CY	100	\$ 280.00	\$ 28,000.00	\$ 298.17	\$ 29,817.00
58	Light Pole Base	EA	18	\$ 2,000.00	\$ 36,000.00	\$ 2,477.69	\$ 44,598.42
59	Light Pole Base, Parking Lot	EA	5	\$ 2,600.00	\$ 13,000.00	\$ 3,435.57	\$ 17,177.85
60	Asphalt Repair	SY	100	\$ 275.00	\$ 27,500.00	\$ 206.49	\$ 20,649.00
61	Environmental and Cultural Resource Protection	LS	1	\$ 6,400.00	\$ 6,400.00	\$ 19,955.76	\$ 19,955.76
62	Remove and Reset Brick Pavers	SF	45	\$ 130.00	\$ 5,850.00	\$ 138.36	\$ 6,226.20
63	Gravel Repair	SY	6	\$ 104.00	\$ 624.00	\$ 286.61	\$ 1,719.66
64	Surveying	LS	1	\$ 37,000.00	\$ 37,000.00	\$ 39,911.52	\$ 39,911.52
65	Removal of Tree (6"+)	EA	3	\$ 2,200.00	\$ 6,600.00	\$ 2,765.09	\$ 8,295.27
66	Directed Survey (Contingency Allowance)	CA	1	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
67	Street Light, Historical	EA	1	\$ 8,000.00	\$ 8,000.00	\$ 9,312.69	\$ 9,312.69
68	Street Light, Intersection	EA	4	\$ 9,000.00	\$ 36,000.00	\$ 9,312.69	\$ 37,250.76
69	Street Light, Parking Lot	EA	5	\$ 4,400.00	\$ 22,000.00	\$ 3,991.15	\$ 19,955.75
70	Street Light, Historical (Installation Only)	EA	13	\$ 2,500.00	\$ 32,500.00	\$ 2,062.10	\$ 26,807.30
71	240V Pole Receptacle w/ Locking Box	EA	2	\$ 1,500.00	\$ 3,000.00	\$ 1,662.98	\$ 3,325.96
72	Dry Streambed Feature	LS	1	\$ 36,000.00	\$ 36,000.00	\$ 46,944.66	\$ 46,944.66
73	Level 2 Dual EV Charging Station	EA	2	\$ 15,000.00	\$ 30,000.00	\$ 16,629.80	\$ 33,259.60
74	6" Ribbon Curb	LF	623	\$ 32.00	\$ 19,936.00	\$ 50.22	\$ 31,287.06
75	Plantings - 1 Gallon to 2 Gallon	EA	32	\$ 106.00	\$ 3,392.00	\$ 111.05	\$ 3,553.60
76	Plantings - 5 Gallon	EA	0	\$ -	\$ -	\$ -	\$ -
77	Ground Cover	SY	455	\$ 8.00	\$ 3,640.00	\$ 10.68	\$ 4,859.40
78	Mobilization	LS	1	\$ 263,000.00	\$ 263,000.00	\$ 252,239.47	\$ 252,239.47
Total Project Construction Cost					\$ 2,545,106.00		\$ 2,766,833.11
Denotes summation error on submitted bid form							

1st STREET PHASE 3B SURFACE IMPROVEMENTS McCALL

KEY NO. 22950
PROJECT NO. A022(950)
EDA AWARD NO. 07-79-07929

BUY AMERICA:
IS REQUIRED AND CURRENT REQUIREMENTS MET AND FOLLOWED.



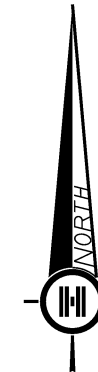
PROJECT LOCATION



VICINITY MAP

-T 18N R 3E SECTION 9-

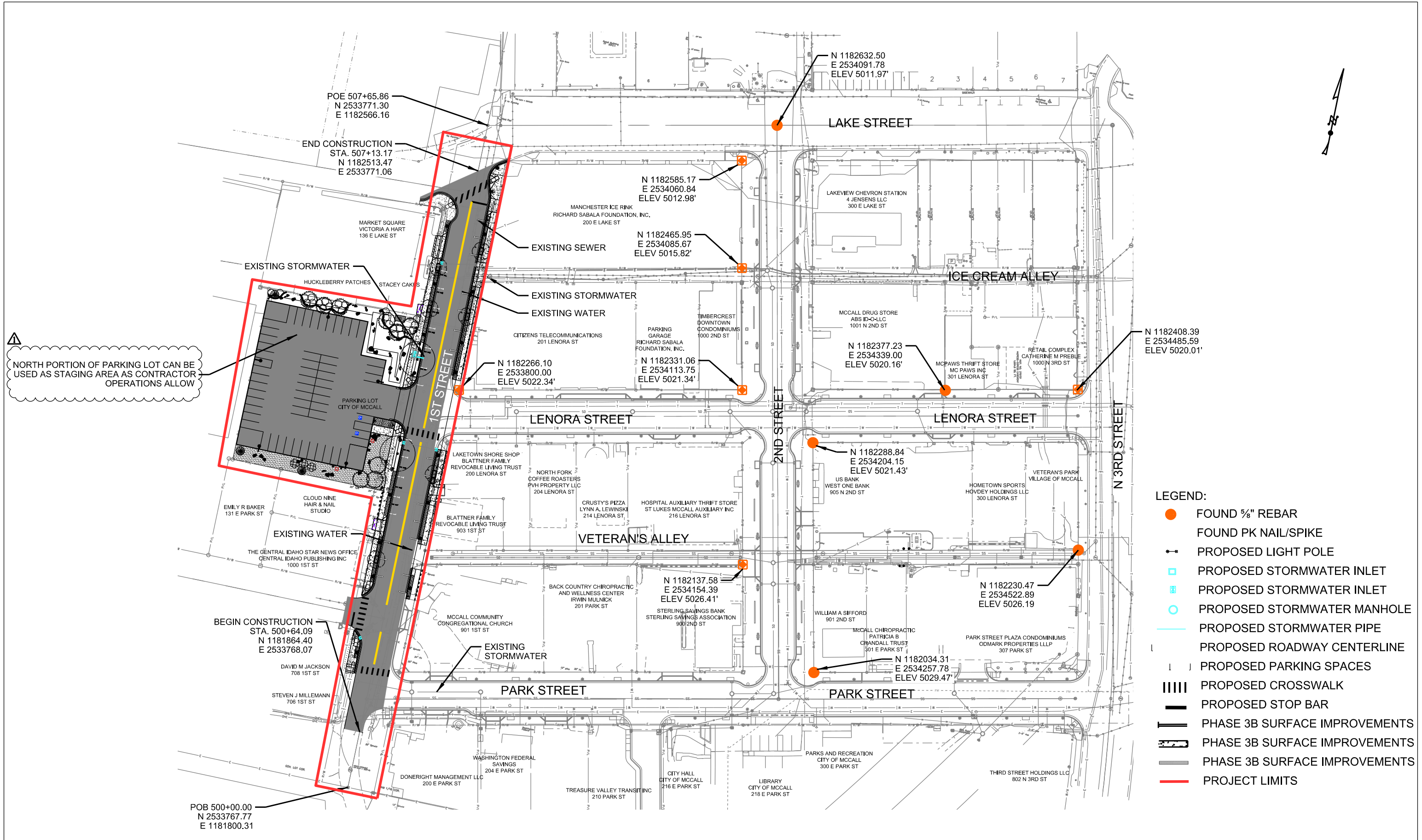
INDEX TO SHEETS	
SHEET #	DESCRIPTION
1	TITLE SHEET
2	PROJECT OVERVIEW LAYOUT
3	GENERAL NOTES AND LEGEND
4	TYPICAL SECTIONS
5	REMOVAL SHEET
6	PARKING LOT - SITE PLAN
7	PARKING LOT - GRADING
8-9	ROADWAY PLAN AND PROFILE SHEETS
10-12	ROADWAY DETAIL SHEETS
13-14	GRADING SHEETS
15-18	CURB RAMP DETAIL SHEETS
19-21	APPROACH DETAIL SHEETS
22-23	STORMWATER PLAN AND PROFILE SHEETS
24-25	STORMWATER DETAIL SHEET
26-28	IRRIGATION SHEETS
29-35	LANDSCAPE SHEETS
36-37	ELECTRICAL AND ILLUMINATION SHEETS
38	ELECTRICAL AND ILLUMINATION DETAILS
39	SIGNING & STRIPING SHEETS
40-41	UTILITY SHEETS
42-43	TRAFFIC CONTROL PLAN SHEETS
44	TRAFFIC CONTROL BUSINESS SIGN SHEET



ADDENDUM #1
SUBMITTAL
NOVEMBER 10th, 2023

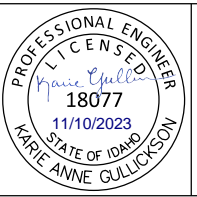


SHEET
NO.
1



▲ NORTH PORTION OF PARKING LOT CAN BE USED AS STAGING AREA AS CONTRACTOR OPERATIONS ALLOW

NO.	REVISION	BY	DATE	DESIGN
1	ADDENDUM #1 - CLARIFICATION ON STAGING AREA	KAG	11/07/23	E. RESIMIUS
				DRAWN
				J. STURM
				CHECKED
				K. GULLICKSON
				APPROVED
				K. GULLICKSON



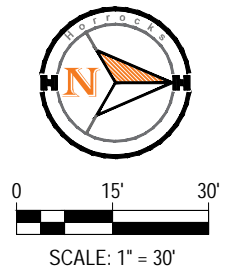
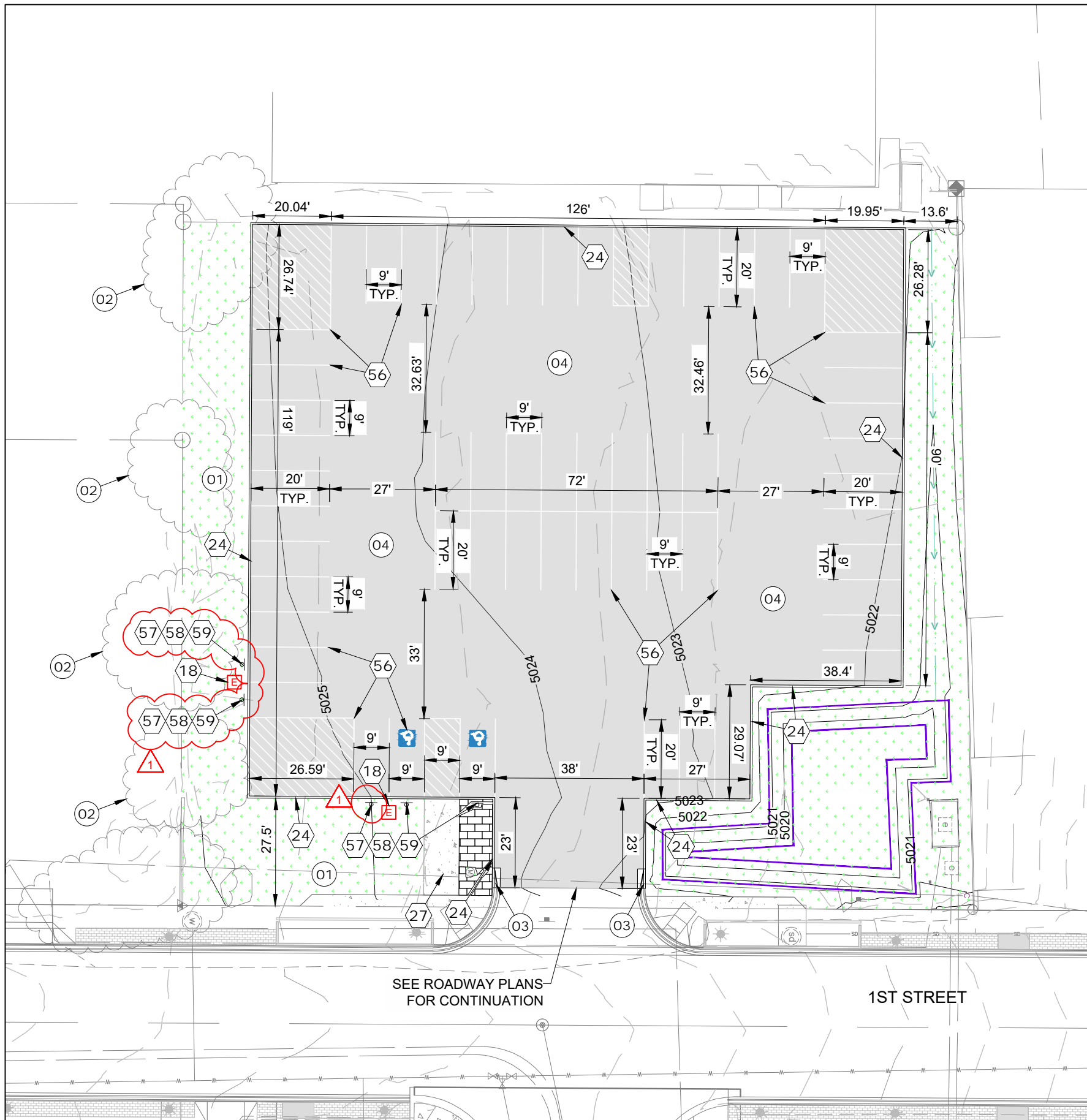
Horrocks.
2775 W. Navigator Dr.
Suite 210
Meridian, ID 83642
(208)-895-2520



PUBLIC WORKS DEPARTMENT
815 N. SAMSON TRAIL
McCALL, IDAHO 83638
208.634.8943

CITY OF McCALL
VALLEY COUNTY, IDAHO
SURFACE IMPROVEMENTS
1st STREET, PHASE 3B
PROJECT OVERVIEW LAYOUT

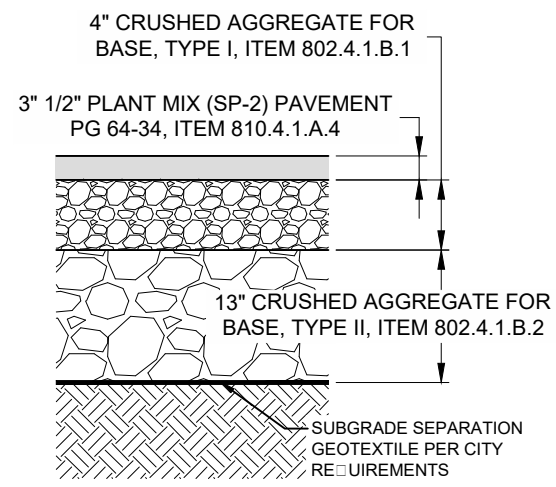
VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	A022(950)
DATE	12-NOV-2023
DRAWING NO.	SHEET NO.
	2 OF 44



NOTE
 1. REMOVAL AND/OR RELOCATION OF BOULDERS, JERSEY BARRIERS, AND OTHER ITEMS SHALL BE CONDUCTED PER CITY OF McCALL DIRECTION. REMOVAL AND/OR RELOCATION OF ITEMS SHALL BE INCIDENTAL TO THE PROJECT.
 2. SEE SIGNING AND STRIPING PLAN SHEET FOR DETAILS AND SIGN FACE INFORMATION.

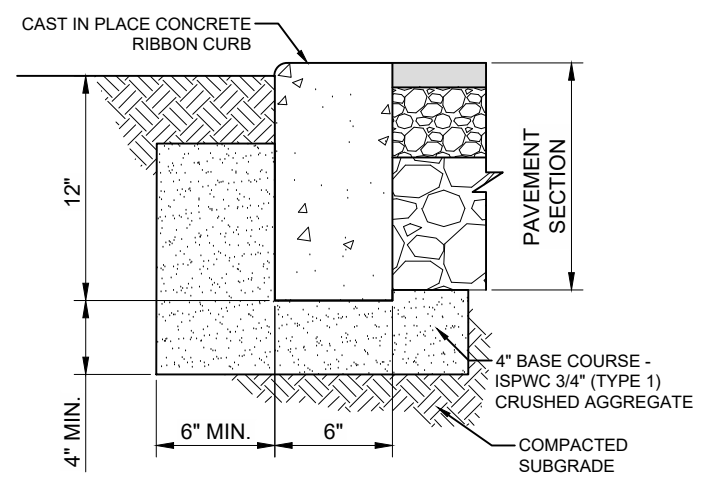
SITE KEYNOTES AND BID ITEMS

- 01 LANDSCAPE AREA, REFER TO LANDSCAPE PLAN SHEETS
- 02 SEE TREE PROTECTION NOTES IN THE PROJECT SPECIFICATIONS
- 03 5' TRANSITION FROM ROLLED CURB TO RIBBON CURB (SIMILAR TO ISPWC SD-707) INCIDENTAL TO ITEM 706.4.1.A.7
- 04 PAVEMENT STRUCTURAL SECTION PER DETAIL ON THIS SHEET
- 18 LEVEL 2 EV CHARGING STATION, ITEM SP-18, SEE ELECTRICAL PLANS
- 24 6" RIBBON CURB, ITEM SP-19
- 27 CONCRETE SIDEWALK, 5" ITEM 707.4.1.B.1
- 56 PAVEMENT LINE PAINT OR PAVEMENT MARKINGS ITEM 1104.4.1.A.1
- 57 PERMANENT SIGNING, ITEM 1105.4.1.A.1
- 58 STEEL SIGN POSTS, ITEM 1105.4.1.C.1
- 59 ANCHOR ASSEMBLY, ITEM 1105.4.1.D.1



NOTES
 1. PAVEMENT STRUCTURAL SECTION PROVIDED BY THE CITY OF MCCALL.
 2. MATERIAL AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH ISPWC SPECIFICATIONS.

PAVEMENT SECTION

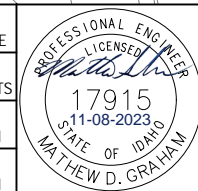


NOTES
 1. SCORE INTERVALS SHALL BE MINIMUM (8') FEET.
 2. MATERIAL AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH ISPWC SPECIFICATIONS.

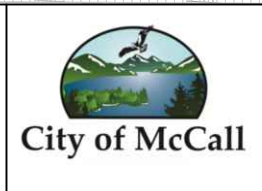
6" CONCRETE RIBBON CURB

ITEM SP-19

NO.	REVISION	BY	DATE	DESIGN
1	ADDENDUM #1 - SIGNING AND STRIPING CHANGES	MDG	11-08-2023	D. MANVILLE
				DRAWN A. CLEMENTS
				CHECKED M. GRAHAM
				APPROVED M. GRAHAM



Horrocks.
 2775 W. Navigator Dr.
 Suite 210
 Meridian, ID 83642
 (208)-895-2520

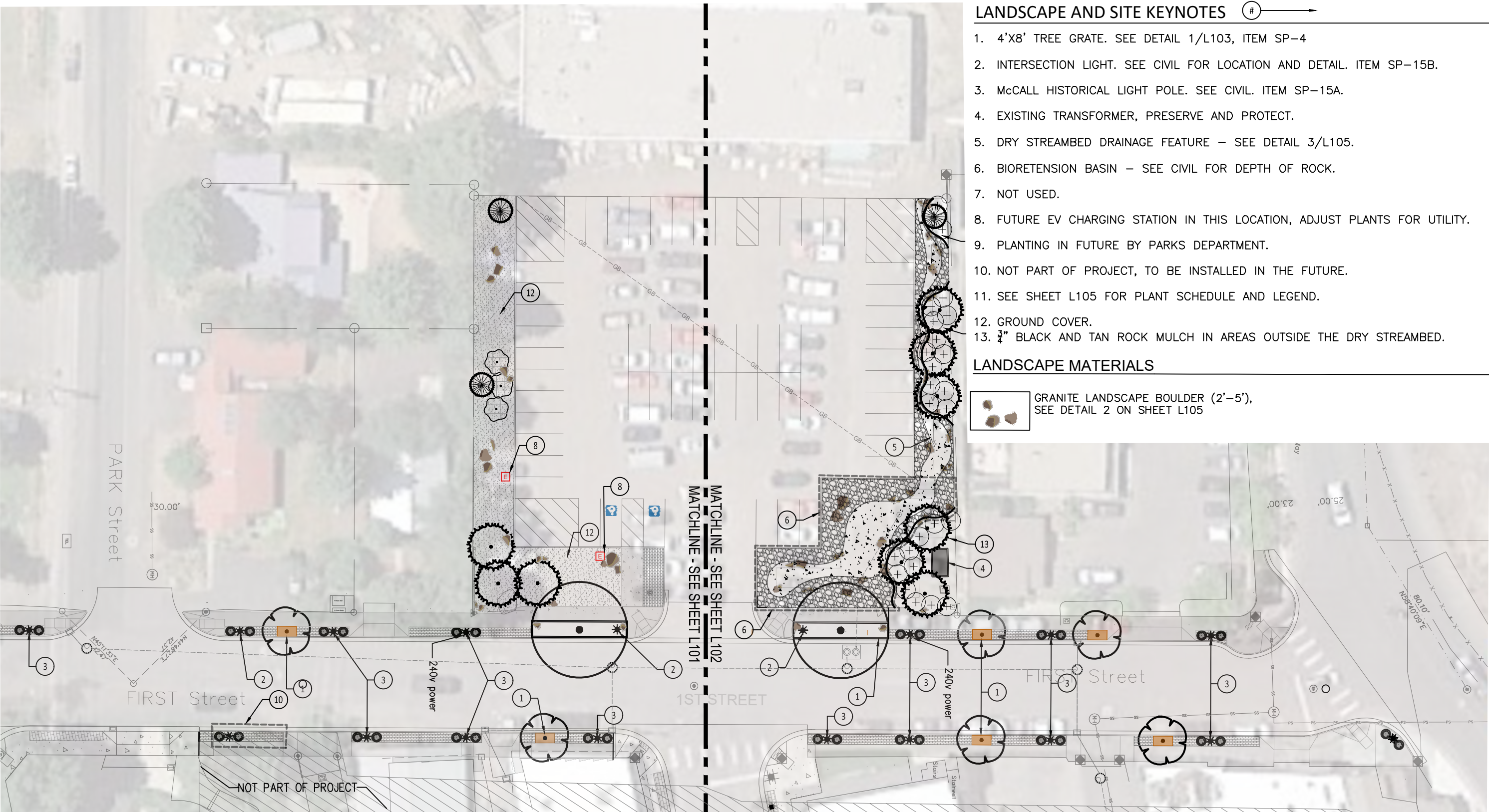


PUBLIC WORKS DEPARTMENT
 815 N. SAMSON TRAIL
 McCALL, IDAHO 83638
 208.634.8943

CITY OF MCCALL
 VALLEY COUNTY, IDAHO
 DOWNTOWN CORE DESIGN
 1ST STREET PHASE 3B
 PARKING LOT - SITE PLAN

CITY OF MCCALL
 VALLEY COUNTY, IDAHO
 DOWNTOWN CORE DESIGN
 1ST STREET PHASE 3B
 PARKING LOT - SITE PLAN

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	BE-376-1701
DATE	09/07/2023
DRAWING NO.	SHEET NO.
	6 OF 44

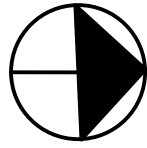


LANDSCAPE AND SITE KEYNOTES

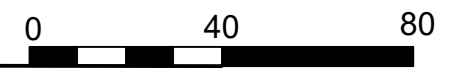
1. 4'X8' TREE GRATE. SEE DETAIL 1/L103, ITEM SP-4
2. INTERSECTION LIGHT. SEE CIVIL FOR LOCATION AND DETAIL. ITEM SP-15B.
3. McCALL HISTORICAL LIGHT POLE. SEE CIVIL. ITEM SP-15A.
4. EXISTING TRANSFORMER, PRESERVE AND PROTECT.
5. DRY STREAMBED DRAINAGE FEATURE - SEE DETAIL 3/L105.
6. BIORETENTION BASIN - SEE CIVIL FOR DEPTH OF ROCK.
7. NOT USED.
8. FUTURE EV CHARGING STATION IN THIS LOCATION, ADJUST PLANTS FOR UTILITY.
9. PLANTING IN FUTURE BY PARKS DEPARTMENT.
10. NOT PART OF PROJECT, TO BE INSTALLED IN THE FUTURE.
11. SEE SHEET L105 FOR PLANT SCHEDULE AND LEGEND.
12. GROUND COVER.
13. 3/4" BLACK AND TAN ROCK MULCH IN AREAS OUTSIDE THE DRY STREAMBED.

LANDSCAPE MATERIALS

 GRANITE LANDSCAPE BOULDER (2'-5'), SEE DETAIL 2 ON SHEET L105

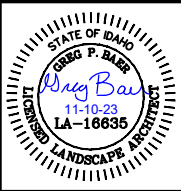


OVERALL LANDSCAPE PLAN



Scale 1" = 40' (11"x17")

NO.	REVISION	BY	DATE	DESIGN
1	ADDENDUM #1 - SHEET REVISIONS- REVISED SHEET	MC	11-10-23	MC
				DRAWN MC
				CHECKED GB
				APPROVED GB

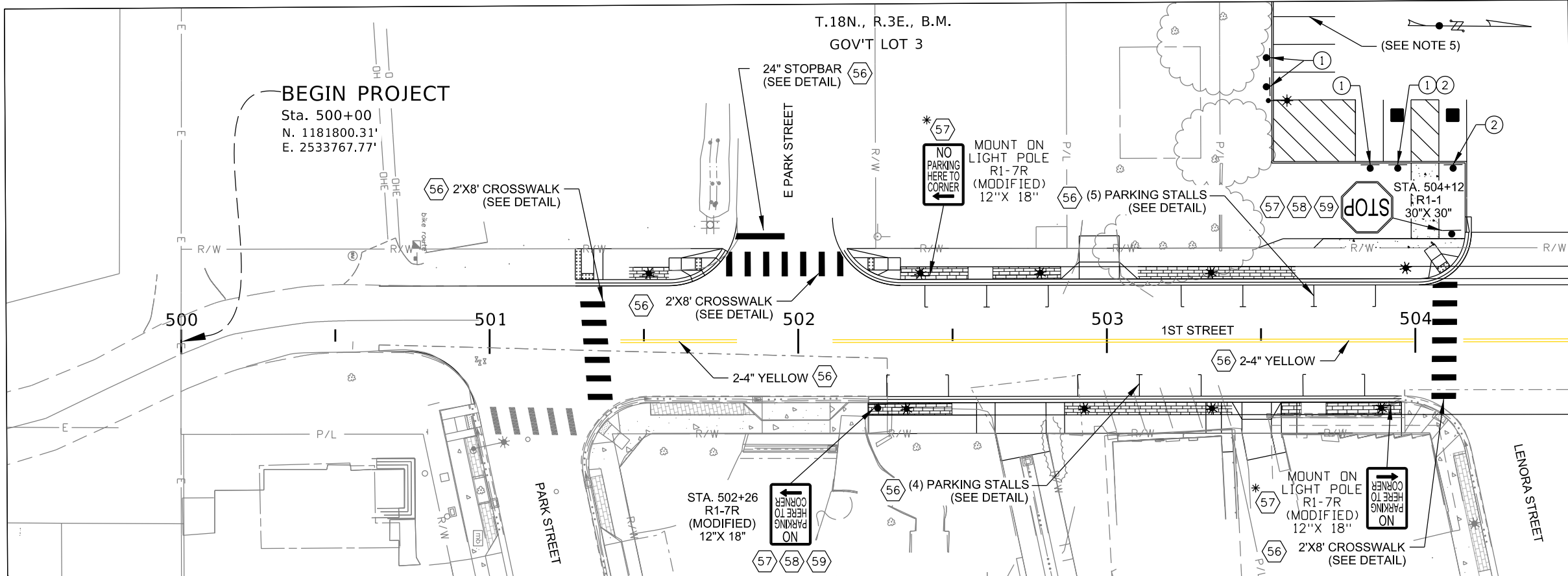


PUBLIC WORKS DEPARTMENT
 815 N. SAMSON TRAIL
 McCALL, IDAHO 83638
 208.634.8943
 CITY ENGINEER
 NATHAN STEWART, P.E.

1ST_STREET_PHASE_3B
SURFACE_IMPROVEMENTS_MCCALL_IDAHO
 LANDSCAPE PLAN

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	A022(950)
DATE	11-10-23
DRAWING NO.	SHEET NO.
L100	29 OF 44

Path: E:\Baer Design Group\2023\17051 - McCall Streetscape\Ph. L100.dwg File Name: 17051 - Landscape Plan - Phase 3 (3).dwg Plot Date: 11/10/2023 10:20 PM Manager



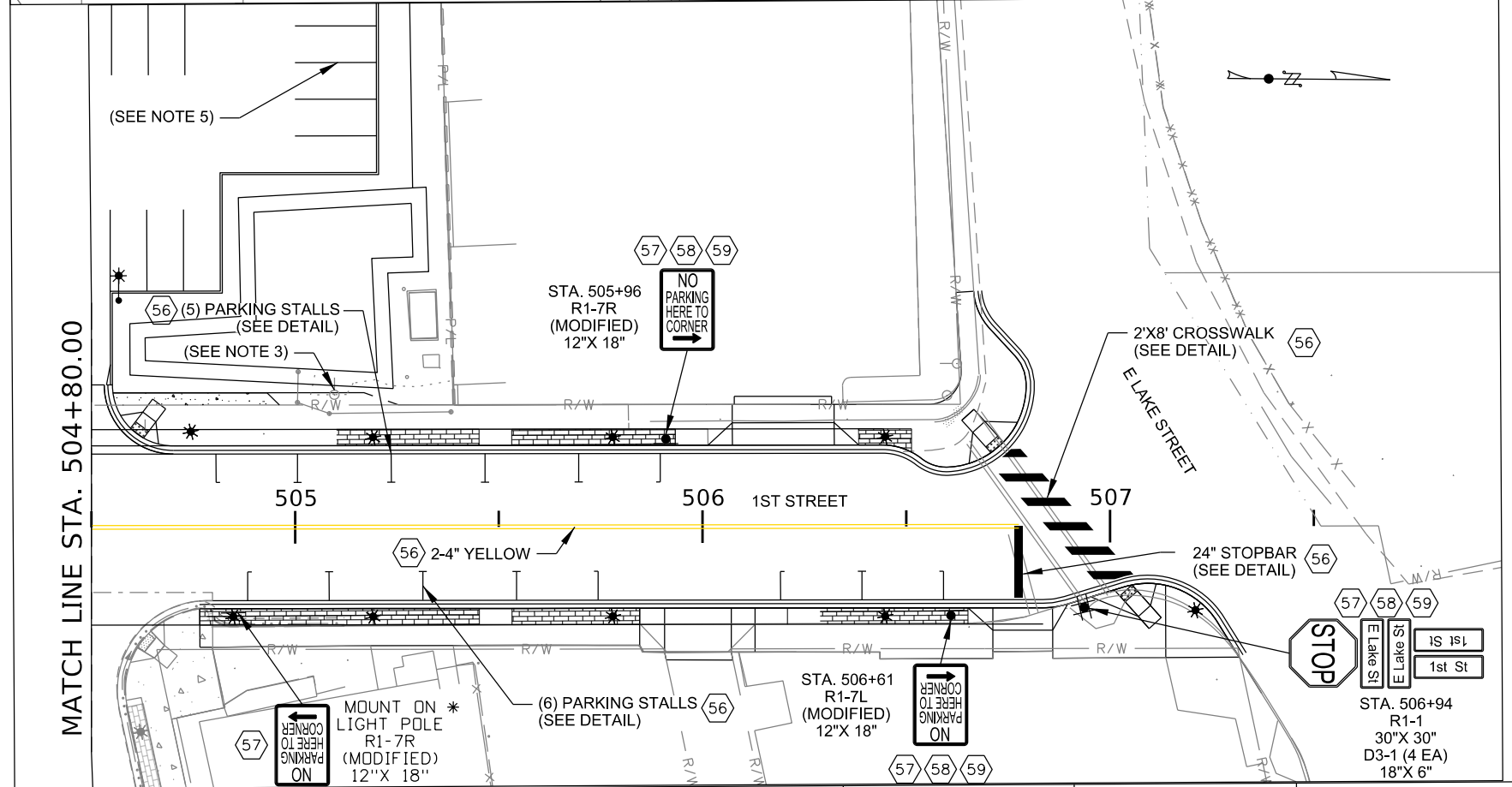
BID ITEMS:

- 56 PAVEMENT LINE PAINT OR PAINTED PAVEMENT MARKINGS, ITEM 1104.4.1.A.1
- 57 PERMANENT SIGNING, ITEM 1105.4.1.A.1
- 58 STEEL SIGN POSTS, ITEM 1105.4.1.C.1
- 59 ANCHOR ASSEMBLY, ITEM 1105.4.1.D.1

①
R7-113
12"X 12"

②
R7-8
12"X 18"

MATCH LINE STA. 504+80.00



NOTES:

1. PAVEMENT MARKINGS TO BE PAID FOR UNDER BID ITEM 1104.4.1.A.1
2. ALL CROSSWALKS SHOWN SHALL BE CENTERED ON EXISTING PEDESTRIAN RAMP LOCATIONS. 2-4" YELLOW PAVEMENT MARKINGS WILL BE DEFINED BY THE STOP BAR & CROSSWALK DETAIL.
3. REMOVE SIGN(S) AND POST AND RETURN TO THE CITY OF McCALL.
- * 4. SIGN TO BE MOUNTED TO LIGHT POLE.
5. SEE PARKING LOT SITE PLAN FOR PARKING LOT PAVEMENT MARKINGS.

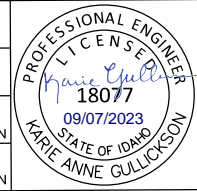
8' CROSSWALK (WHITE)
2' STOP BAR (WHITE)

PARKING STALL (WHITE)

TYPICAL STRIPING SYMBOLS
N.T.S.

SCALE: 1" = 20' (FULL SIZE SHEET)
SCALE: 1" = 40' (11"x17")

NO.	REVISION	BY	DATE	DESIGN
				T. BENTON
				DRAWN
				T. BENTON
				CHECKED
				K. GULLICKSON
				APPROVED
				K. GULLICKSON



Horrocks.
2775 W. Navigator Dr.
Suite 210
Meridian, ID 83642
(208)-895-2520



PUBLIC WORKS DEPARTMENT
815 N. SAMSON TRAIL
McCALL, IDAHO 83638
208.634.8943



CITY OF McCALL
VALLEY COUNTY, IDAHO
SURFACE IMPROVEMENTS
1st STREET, PHASE 3B
SIGNING & STRIPING SHEETS

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT A022(950)	
DATE 7-SEP-2023	
DRAWING NO.	SHEET NO.
	39 OF 44

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-224
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION				
SUBJECT: <i>Request to approve Idaho Women’s Charitable Foundation grant application for construction of the Library Art Gallery</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	\$30,000	Airport		
FUNDING SOURCE:	Idaho Women’s Charitable Foundation	Library	Heft	supporter
		Information Systems		
TIMELINE:	Application deadline: December 15, 2023	Economic Development	DMJ	originator

SUMMARY STATEMENT:

The Idaho Women’s Charitable Foundation (IWCF) offers annual Pooled-fund Grants to southwest Idaho organizations in amounts of up to \$30,000 for projects in six interest areas: cultural arts, education, environment, financial stability, health, and rural communities. Eligible projects include targeted capital construction expenses and funded activities must occur between May 2024 and December 2024.

The gallery space that will be constructed as part of the renovation of the existing McCall Library building during the 2024 phase of the Library Expansion Project aligns well with the IWCF grant timeline and cultural arts, education and rural communities interest areas. Once completed, the gallery will offer 101 linear feet of display space at the heart of the library’s community wing, providing the McCall area’s first public exhibit opportunity to host rotating works of local artists and students, cultural and historical displays, and more. The gallery will be free for residents and visitors to enjoy during regular library open hours, exhibit opening receptions, and whenever events, programs, or public meetings are held in the adjacent community meeting rooms.

Total cost of construction of the gallery, including rough carpentry, drywall, flooring, electrical, lighting, and finish the architectural woodwork is \$42,400. IWCF grant request will be \$30,000, with Library Foundation funding providing the balance of \$12,400.

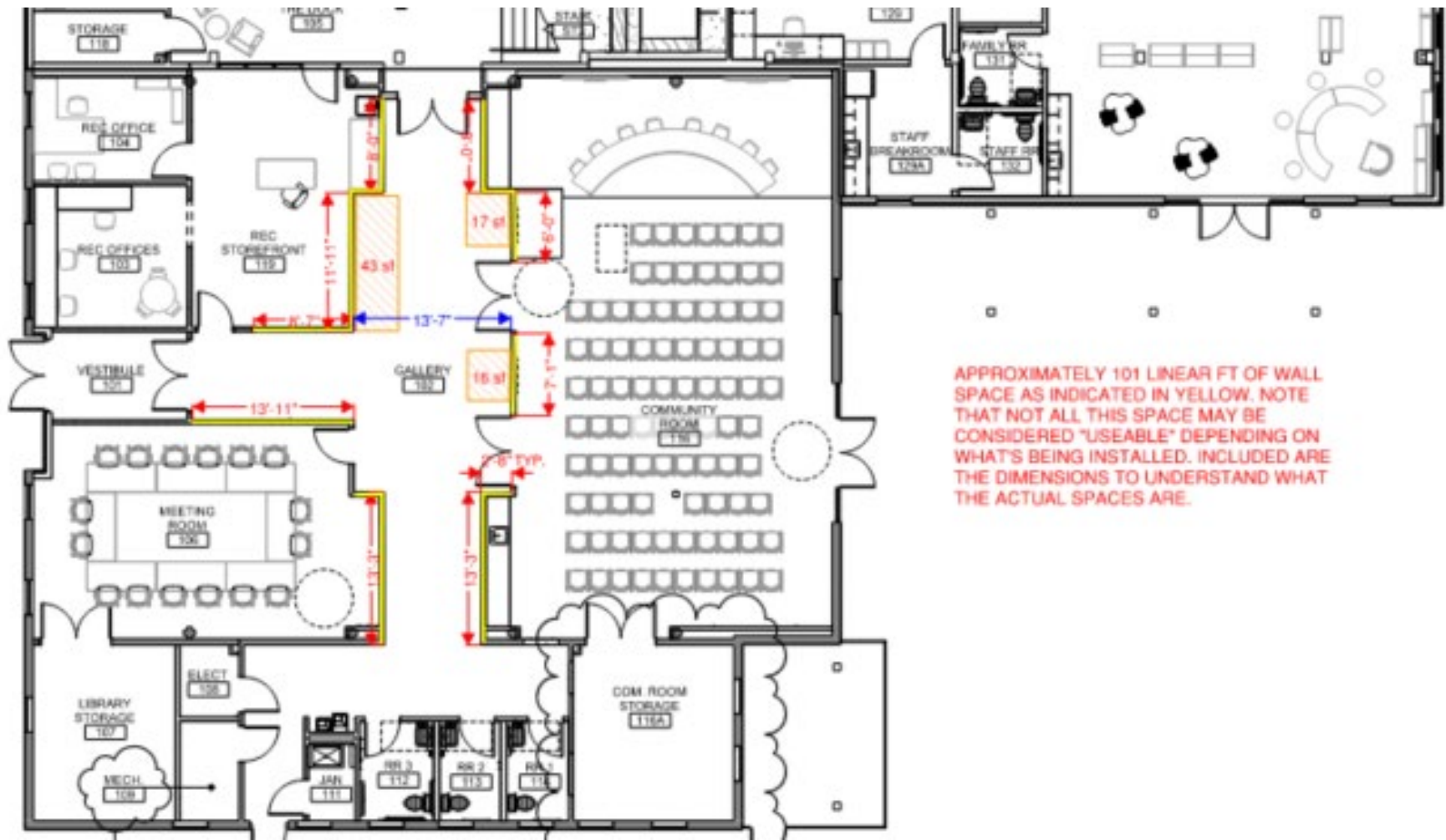
Attached is an excerpt from the library expansion floor plans showing the gallery exhibit space, and more information about the IWCF grant opportunity can be found at: <https://www.iwcfboise.org/grant-program/>

RECOMMENDED ACTION:

Approve submittal of an Idaho Women’s Charitable Foundation grant application to support construction of the Library Art Gallery and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION	
MEETING DATE	ACTION

McCall Library gallery – excerpt from McCall Library Expansion project floor plan



**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-225
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to approve submittal of a Children Pedestrian Safety Grant application for Davis Ave Phase 2 pedestrian improvements</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	Up to \$250,000	Parks and Recreation		
FUNDING SOURCE:	LHTAC Children Pedestrian Safety Grant Program	Airport		
		Library		
TIMELINE:	Application deadline: December 7, 2023	Information Systems		
		Economic Development	DMJ	originator

SUMMARY STATEMENT:

The Local Highway Technical Assistance Council (LHTAC) administers the Children Pedestrian Safety (CPS) grant program which provides up to a maximum of \$250,000 to local jurisdictions for pedestrian improvements adjacent to existing roadways that primarily support non-motorized circulation of children. Awarded projects must be “shovel-ready” and complete by December 2024. No local matching funds are required.

The second phase of Davis Ave roadway improvements between Blue Water Circle north to the Lick Creek Road intersection is scheduled for the 2024 construction season which fits within the grant project timeline. The project is designed to include widened paved roadway shoulders and a short section of separated paved pathway near Gold Glove Park to increase bicycle and pedestrian safety. Because these pathway improvements are occurring along a school bus route and will improve access to Ponderosa Park, and the ball fields, ice rink and playground at Gold Glove Park, the project is eligible for CPS grant funding.

More information about the Children Pedestrian Safety program can be found at: <https://lhtac.org/programs/children-pedestrian-safety-program/>

RECOMMENDED ACTION:

Approve submittal of a Children Pedestrian Safety Grant application for Davis Ave Phase 2 pedestrian improvements and authorize Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 23-226
Meeting Date November 30, 2023

AGENDA ITEM INFORMATION				
SUBJECT: <i>Request the Appointment of Nick Zello to the Post Annexation JWAG Committee</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development	MG	Originator
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	n/a	Airport		
FUNDING SOURCE:	n/a	Library		
TIMELINE:	1 year term	Information Systems		
		Grant Coordinator		

SUMMARY STATEMENT:

The Annexation Agreement between the City of McCall and Payette Lakes Recreation Water and Sewer District (PLRWSD) outlines the membership for the Post Annexation Joint Wastewater Advisory group (JWAG) committee in section 9.10.3.1: It states there shall be seven (7) members of the Advisory Group which shall consist of the following:

- a. District's Operations Manager (Jeff Bateman)
- b. City's Public Works Director (Nathan Stewart)
- c. City's Community & Economic Development Director (Michelle Groenevelt)
- d. One District employee appointed by the District's Board of Directors (Tammie Richardson)
- e. One District Director appointed by the District's Board of Directors (Bill Weida)
- f. One City Council Member appointed by the City Council (Colby Nielsen)
- g. One District Elector, who is also a resident within the District appointed by agreement of the City Council and the District's Board of Directors for a term of one (1) year. There is no limitation on re-appointment.

The One District Elector position was advertised in The Star News and one letter of interest was received for the position from Nick Zello (see attached). The JWAG reviewed the letter of interest, Nick Zello introduced himself at the November 2 meeting, the JWAG recommended appointment of Nick Zello which needs to be appointed by the City Council and the Sewer District Board. The Sewer District Board approved Mr. Zello's appointment at their November 15 meeting.

RECOMMENDED ACTION:

Appoint Nick Zello to the Post Annexation JWAG Committee for a term of 1 year ending November 30, 2024.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

October 25, 2023

To: BessieJo Wagner, Tammie Richardson and other deciding members

I am submitting my name for consideration to become a member of the city's Joint Wastewater Advisory Group. My wife, Lee, was raised in McCall where her parents and grandparents held many jobs and contributed to the fabric of the community, including providing stone work for the centennial display.

We have made McCall our home following my retirement from a career as an executive in automotive and aerospace. Since then, we have started three companies here in McCall; Del Sannio Imports (importing liqueur from Italy), Wet Sneakers (aerospace and executive leadership consulting), and Tin Shack Studio (clay and stained-glass art).

We both have a strong commitment to this community, and we understand that it often takes volunteers to make things happen. I have previously served on the city's Housing Advisory Committee where I was selected by the members to be the Chairman of the committee. At the end of my tenure, we delivered a concrete plan for the City to begin addressing the issues contributing to the city's current housing crisis.

In developing that Housing Action Plan, I learned the critical role and importance of collaboration between the City of McCall and the Payette Lakes Recreational Water and Sewer District. I can bring a rational, organized perspective, an ability to understand the many facets of complex issues, and a strong desire to help the City of McCall to this Joint Advisory Group.

For these reasons, I would like to be considered for this position.

Respectfully,

Nick Zello

McCall, ID 83638

Biography: Nick Zello

Nick Zello retired from the aerospace industry after serving as Vice President of Operations for Maxar Corporation, and later Momentus Space Systems, where he was responsible for establishing new spacecraft design and volume manufacturing approaches for the development of communication, imaging, and transport satellites..

Nick held earlier roles as Vice President of Supply Chain and Production Control, General Manager of US Space Robotics, and Executive Director of New Frontiers for Maxar.

Prior to his move to the aerospace industry, Nick worked for General Motors where he was a Vehicle Line Director with P&L responsibility for a product line with annual revenue of ~ \$1.2Bn. He also held roles in strategic planning, business management, and manufacturing.

Nick graduated Purdue University as a mechanical engineer and began his career at General Motors. There, he was awarded a GM Fellowship to pursue his MBA at Northwestern University's Kellogg Graduate School of Management.

Nick lives in McCall, Idaho with his wife Lee where they currently run three small businesses and commit as much remaining time as possible to enjoying the Idaho outdoors.

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number

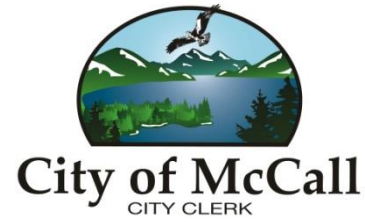
AB 23-228

Meeting Date

November 30, 2023

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
Review of Tourism Local Option Tax (LOT) project award process and direction to staff		Mayor / Council		
		City Manager	ABS	
		Clerk	AW	Originator
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	n/a	Airport		
FUNDING SOURCE:	n/a	Library		
TIMELINE:	n/a	Information Systems		
		Grant Coordinator		
SUMMARY STATEMENT:				
<p>During the November 9, 2023 City Council Meeting Council had some questions regarding the project award process and the process of allowing recipients to request reallocation of their awarded funds. The purpose of this agenda item is to give the Council historical data related to LOT Projects awarded funding and projects that have been awarded funding that have requested reallocation of funds. Attached is a memo that outlines the process for funding and the process for request to reallocate funds. Also, the staff requests that Council consider a policy to alleviate future questions related to how Tourism LOT Projects are funded and how to request, if appropriate, reallocation of funds. Council is scheduled to discuss LOT priorities and directions to the LOT Commission at your January 2024 retreat.</p>				
RECOMMENDED ACTION:				
Direction to Staff				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

Memo



To: City Council
From: BessieJo Wagner, City Clerk
CC: Anette Spickard, City Manager
Date: 11/17/2023
Re: Tourism Local Option Tax Project Funding

History:

As reflected on the attached FY23 Lodging LOT Actual Revenue that staff has been tracking since 2006, LOT revenue has increased from about \$258,000 to just over \$1,000,000. This is due to many different factors some of which there has been an increase in the number of units that fit this category, whether it is hotels or short-term rentals, changes in the rates that owners are charging their guests, and changes in the economy. Prior to FY23, there have been three other years that LOT receipts were less than budgeted. During those years staff worked with the LOT Commission and ultimately with the Council to determine the best way to determine how to fund or partially fund projects that were identified as awarded funding from LOT when the revenue did not come in as budgeted. As reflected in the attached minutes for 2009 and 2010 LOT Revenues were projected to come in under budget, the LOT Commission recommended that the remaining projects get cut by the percentage being projected under budget. Then in April of 2010 it was recommended that there be a priority list of projects and projects get funded until funding runs out. This is how the LOT has been administered starting 2011.

Since 2019 there have been 13 requests from recipients to reallocate monies received from LOT revenue for various reasons. The Agenda Bills for those reallocation requests are attached. All requests were approved by City Council. Staff only researched back to the start of the current LOT Ordinance. Staff operated with the understanding that as long as the recipient's request to reallocate was for an allowable use, then the recipient was allowed to make the request. There has been no adopted policy by City Council regarding the reallocation of funds.

Prior to 2019, Council would meet with the LOT Commission prior to their meetings to establish Council's priorities for LOT Funding. Since then, Council has chosen not to follow this process as they felt it was the Commission's job to determine the priorities set by the adopted criteria, Local Option Tax Commission Guidance (attached).

Current Practice:

Since the adoption and passage of Ordinance 965 (attached) in 2018, the process for funding applications is as follows:

- February or March Staff meets to determine budget for following fiscal year based on the past 5 year trend
- Website updated with new fiscal year information and applications
- Advertising for applications start in March,
- Applications are always due April 30
- Lot Commission receives LOT Applications
- LOT Commission holds meetings to hear from all applicants
- All applications are scored by the LOT Commission using Council adopted criteria
- LOT Commission deliberates and determines applicants to be funded
- Priorities for funding projects are based on how the applicant's project scored, with the understanding that projects are funded in order until funding runs out, projects are funded dependent on the receipt of revenue
- June or July Lot Commission Chair presents Commissions recommended projects for funding
- As part of the Budget process Council reviews, possibly makes changes, and adopts the funding priorities
- Letters (attached) are sent out, and are clear that funding is totally dependent on the receipt of funds
- Staff funds projects as funds are received, contracts (attached) are sent to recipient prior to the recipient receiving their funds

In 2018, Staff worked with the City's legal counsel to update the funding contract (attached). The funding contract does state that the recipient may only use the funds received for the project as described in their application for funding. Whenever Council has approved the reallocation of funds, an additional contract is signed reflecting the reallocation. Annually, the Council approves the form of the contract and authorizes the Mayor to sign the contracts based on the adopted projects to be funded.

The City Attorney reviewed Ordinance 965 to determine the legality of allowing reallocation of funds. The attorney determined that as long as there is nothing in the contracts that the LOT recipients sign that indicates that unused funds will be allocated to the next unfunded LOT project on the list, it appears that Council is within its discretion to allocate the unused funds to the same organization for another project even if that means another organization's LOT project for FY 22-23 is skipped over because LOT in FY 22-23 was short overall.

In many cases, recipients who do not use all their LOT funds, those funds are returned to the LOT funds to be distributed. These cases are few and far between. Since most years the amount of funds applied for is more than twice the budget, the LOT Commission will ask an applicant if they need the full amount or if the project is broken down to fund different items within the project, the Commission will ask what the priority for that project would be. Also, the budget is generally set high to avoid an excess to be used as property tax relief as the Council has expressed historically that due to the need, they would prefer the funds to be used as indicated through the ordinance.

Request for Council Direction:

Staff request that Council consider the process being used currently and determine if the Council would like to continue the same process or adopt a policy regarding unused funds, or reallocation of funds and or a policy setting funding priorities such as sidewalk maintenance, housing, etc.

LOT Actual Dollars per Month

Month	FY06	FY07	FY08	FY09	FY10	FY11	FY12	FY13	FY14	FY15	FY16	FY17	FY18	FY19	FY20	FY21	FY22	FY23	Totals
October	14,274	16,938	14,412	11,306	10,483	11,520	12,392	12,163	13,390	19,298	22,085	25,791	27,291	30,504	30,166	44,871	52,496	53,920	423,301
November	11,272	9,748	7,978	7,147	5,850	5,535	6,103	7,298	8,233	11,738	12,986	15,209	16,795	17,929	20,073	27,132	29,184	30,705	250,915
December	18,547	21,746	22,261	16,224	14,294	15,459	13,939	19,101	18,122	21,802	31,168	32,785	33,179	49,031	64,163	91,656	112,975	119,687	716,139
January	17,232	18,707	20,163	17,932	17,007	17,510	17,065	19,334	24,733	26,778	31,157	31,506	40,724	46,286	49,923	60,516	57,714	61,406	575,693
February	20,446	22,943	27,324	24,826	18,873	19,921	19,716	22,331	22,013	28,487	32,613	35,777	38,616	42,579	48,770	60,544	67,925	69,067	622,771
March	15,110	13,668	21,527	15,969	8,925	11,941	17,344	20,251	19,365	18,422	23,712	25,885	31,339	59,451	45,755	119,721	122,712	113,152	704,250
April	7,294	8,049	6,425	5,954	6,183	6,210	6,696	6,165	8,719	11,641	15,255	14,865	15,617	15,981	3,460	27,021	25,895	23,801	215,231
May	11,994	11,230	9,368	8,595	7,335	8,074	9,461	11,113	15,390	18,711	22,047	23,315	25,265	27,806	18,644	43,132	38,658	39,144	349,282
June	23,442	24,611	25,426	22,248	21,491	20,728	25,352	33,681	37,000	42,541	50,323	55,034	58,523	87,224	92,394	147,239	145,130	142,028	1,054,415
July	47,654	54,276	47,052	42,408	48,747	49,843	54,214	62,187	65,335	71,296	82,520	88,713	102,486	102,472	105,196	140,826	150,998	141,774	1,457,997
August	44,024	52,948	41,089	32,480	39,398	44,505	48,919	57,546	64,959	63,598	71,300	81,215	89,143	89,369	99,323	123,848	132,577	110,103	1,286,344
September	26,973	26,073	23,600	25,826	20,258	27,603	33,029	35,605	35,959	49,346	53,966	57,591	84,328	82,112	118,823	134,036	143,595	149,394	1,128,117
Total Dollars Received	258,263	280,937	266,627	230,991	218,844	238,849	260,743	306,775	333,218	383,658	449,132	487,686	563,306	650,744	696,690	1,020,542	1,079,859	1,054,181	8,781,044
Difference compared to prior year		22,674	(14,310)	(35,635)	(12,148)	20,005	21,894	46,032	26,443	50,440	65,474	38,554	75,620	87,438	45,946	323,852	59,317	(25,678)	795,918
Percent of change		9%	-5%	-13%	-5%	9%	9%	18%	9%	15%	17%	9%	16%	16%	7%	46%	6%	-2%	
Budgeted Dollars	237,858	255,550	309,125	300,000	225,000	175,000	227,500	240,440	255,859	279,620	349,520	400,710	509,131	515,000	712,249	650,866	766,000	1,200,000	7,609,428
Contingent Budgeted dollars						52,500	62,543	11,920	50,000	61,315	77,500	45,000	27,090	161,706	327,290	256,790	227,791	360,000	1,721,445
2nd Contingent Budgeted Dollars								38,600	43,000										81,600
Total Budgeted	237,858	255,550	309,125	300,000	225,000	227,500	290,043	290,960	348,859	340,935	427,020	445,710	536,221	676,706	1,039,539	907,656	993,791	1,262,461	9,114,934

Greg Lovell – Mr. Lovell expressed his support of John Blaye. He feels that the City needs to be a partner with the UPRED Council and John Blaye. He feels there are opportunities to bring businesses here.

Rhonda Sandmeyer – 636 Floyd St – Ms. Sandmeyer has worked with John Blaye and she is supportive of the work he does. It was her opinion that the City Manager and City Council were anti-growth. She stated that her opinion was that Mr. Kirkpatrick was not supportive of the position and she asked that the Council support John Blaye.

Ms. Sandmeyer read an email from the owners of McCall Rental, David and Janice Whitney. The letter was supportive of John Blaye. They felt that the UPRED Council is instrumental in achieving economic growth in McCall.

Hearing no further comments, Mayor Kulesza closed the public comment at 6:29p.m.

BUSINESS AGENDA

AB 09-50 Historic Preservation Committee Annual Report

Marlene Bailey presented the Historic Preservation Committee Annual Report.

Mayor Kulesza asked about the four properties and what the process was for recognition of the Historic Places. Mrs. Bailey stated that there is an extensive process to be followed that includes research into the history of each property to determine the age and significance of the properties. She stated that they use such recourses as property deeds and descendants of property owners and more.

AB 09-55 LOT Report 2009 revenue update – Stephen Gleason

Stephen Gleason, Chairman of the Local Option Tax Commission, recommended that there be a 10% cut in funding across the board to be effective immediately for the remainder of the year. Due to the revenues from the LOT contributors showing a downward trend, he felt it was the fairest way to cut funding as it appears that the funding will fall short. By cutting all applicants that have yet to be funded, it gives the remaining projects the opportunity for some funding as opposed to completely cutting the funding of an entire project. Mr. Gleason stated that in the event that the shortfalls in revenues are made up, then each project would be bumped back up.

Mr. Gleason stated that the LOT Commission would meet again in June and September to compare the actual revenues to projected and determine if the 10% cut will remain or if revenues show an increase or decrease from projected revenues and make some additional recommendations at that time.

Council Member Scott and Mayor Kulesza agreed with the proposal.

Council Member Bailey stated that he preferred that a project gets pulled as opposed to the standard 10% cut across the board. There was some discussion as to whether some of the projects be postponed so that some of the more critical projects get done.

Council Member Witte moved to approve the 10% reduction in funding for each remaining project. Council Member Scott seconded the motion. In a voice vote all members votes yes and the motion passed.

AB 09-59 Assumption of lease for Greystone Village #3, Lot 7, Block 3, from Neighborhood Housing Services to Raymond A. Waldsmith

Mr. Kirkpatrick gave a brief summary of the lease assumption. Bill Nichols, City Attorney, stated that this was the first lease assumption since the first amendment to the ground lease was made. The lease assumption form was the same as the ones used previously and a correction needs to be made on page two, under the covenants in article 3; the last two lines of 3.1 should read "...in such Lease and the First Amendment to Lease true and correct copies of which are attached hereto marked Exhibits A and B."

Council Member Bailey moved to authorize the transfer of the land lease for Lot 7; Greystone Village #3, from Neighborhood Housing Services, Inc. to Raymond A. Waldsmith, with corrections stated by Mr. Nichols and authorizes the Mayor to sign all necessary documents. Council Member Scott seconded the motion. In a roll call vote Council Member Bailey, Council Member Scott, Mayor Kulesza and Council Member Witte all voted yes and the motion passed.

AB 09-57 VARHA proposal regarding the McCall Avenue homes – Continuation

Mr. Nichols gave a summary as to the reason for the continuation. Mr. Nichols wanted to look at the sequence of events surrounding the McCall Avenue homes. He stated that there was language in the VARHA Covenants, which has been amended at least once in the process, to broaden the range of buyers eligible to purchase the homes and to remove some of the impediments of the marketability of the homes. These amendments include removing any appreciation caps and other items that made it difficult to sell the homes. There were some remaining items in the covenants that if the lender forecloses and takes the property back or a purchaser in the foreclosure sale would not take the property subject to the covenants.

Mr. Nichols continued by saying that the ground lease states that the only purpose for the property is for community or work force housing. The first amendment to the ground lease expands the statement by accepting some occupants that might not be considered community or work force housing, stating that they would have to pay additional rent on the leased property. The additional rent would be twice the Idaho Department of Lands rate for cottages leases on Big Payette Lake. The Idaho Department of Lands lease rate is 2.5% of the value of the lot per year. So the first amendment would make it a 5% of the value of the lot each year that would have to be paid as additional rent if the property was not used for community or workforce housing. Assuming the lot is worth about \$45,000, the annual rent would be \$2250 or a little less than \$190 a month.

It was clarified that the first amendment only applies to the six properties that have not yet sold. The question becomes that if NHS cannot sell the homes before the bank has to foreclose, and it goes to sale, does the bank accept the first amendment to the lease because it was not in place at the time of the loan, in which case the original ground lease that was in place, was a fifty year lease and it was restricted strictly to community workforce housing. It is Mr. Nichols opinion that if the bank accepts the first amendment to the ground lease it broadens the market, if the

Council Member Bailey moved to approve the March 26, 2009 minutes as amended. Council Member Witte seconded the motion. In a roll call vote Council Member Bailey, Mayor Kulesza, and Council Member Witte all voted yes, Council Member Delaney abstained and the motion carried.

BUSINESS AGENDA

AB 09-102 Special Election Proclamation

Mayor Kulesza signed a Proclamation proclaiming that the City of McCall, Idaho would hold a Special Election on August 4, 2009, to answer the question "Shall the City of McCall retain its organization under the 'Council-Manager plan'?"

The Council had a brief discussion about the Special Election, noting that there should be information put out for the public on what it would mean to change the form of government. It was decided that at the next Council Meeting there would be an agenda item for an informational campaign.

AB 09-97 Local Option Tax Commission Annual Report to Council

Roger Snodgrass, Local Option Tax Commission, presented Council with a report. Mr. Snodgrass stated that the actual revenue from Local Option tax was 18.5% lower than the estimated revenues for FY09. He stated that next year the commission estimates that the revenue should be budgeted around \$264,000 with a contingency plan.

Mr. Kirkpatrick asked the Council to give advice to the commission as to how to prioritize the applicants for LOT funding at the upcoming budget meeting.

AB 09-101 Sell 6 Golf Course Lifetime Memberships

Eric McCormick, Golf Course Superintendent, and Allan Morrison, Golf Pro, gave a history on the Golf Course Lifetime Memberships. Allan Morrison stated that the Golf Course is in the best shape he has seen it. The funds from the sale of these memberships have enabled the Golf Course to do projects they otherwise would not have had the funding to do. The projects the Golf Course would like to accomplish with this round of sales would be to improve and expand the outside dining deck, seal coat the cart paths, and update the #1 green.

Council Member Delaney moved to approve the sale of the lifetime golf memberships and use the funds for the following projects: extend the deck at the club house, seal the cart paths, and rebuild #1 Aspen green. Council Member Bailey seconded the motion. In a roll call vote Council Member Delaney, Council Member Bailey, Mayor Kulesza, and Council Member Witte all voted yes and the motion carried.

AB 09-96 Geographical Information Systems Update

Michelle Groenevelt, Community Development Director, and Garrett Mapp, GIS Technician gave the Council an update on the Geographical Information System (GIS). One of the uses of the system currently is the water meter location so the meters will be more locatable. It is also being used to assist with road data inventory and analysis. The System also houses parcel and

BUSINESS AGENDA

AB 09-156 Golf Advisory Committee Appointment

Eric McCormick, Golf Superintendent, stated that the Golf Advisory Committee recommended Ron Noble be appointed.

Council Member Delaney moved to appoint Ron Noble to the Golf Advisory Committee. Council Member Scott seconded the motion. In a voice vote all members voted aye and the motion carried.

AB 09-160 SUB-07-12: Crossbar Condominiums – Final Plat Submission Deadline Extension Request

Michelle Groenevelt, Community Development Director, stated that the reason for the request was due to City staff delaying in responding to the applicant requesting the status of the project. The applicant has been diligent in completing their project timely.

Council Member Delaney moved to approve the Final Plat submission deadline extension request for SUB-07-12, establishing a new deadline of January 23, 2010. Council Member Scott seconded the motion. In a voice vote, all members voted aye and the motion passed.

AB 09-162 FY09 Local Option Tax discussion: Revenue Projection & Funding Priorities for Remaining Projects

Mr. Kirkpatrick stated that if the Local Option Tax funds continue to come in as projected there will be a short fall and a contingency plan needs to be made. He stated the City projects that are yet to be funded with revenue from the Local Option Tax, the Parking Study for Community Development, the Lick Creek Davis Intersection for Public Works, and savings with the purchase of a Mower for the Golf Course, were already completed and have found funding through other savings within their departments such as fuel savings.. Therefore these projects would not need the LOT funds should they not be available and then the remaining projects would get funded as planned. Council Member Bailey recommended that they wait until August 27, 2009 after the LOT receipts come in to make a more informed decision. There was a general consensus of the Council to wait until August 27, 2009 to make any decisions.

AB 09-164 Restated Ground Lease Discussion

Mr. Nichols gave a brief overview of the concerns that USDA Rural Development had with the Restated Ground lease for the McCall Avenue homes. One of the suggestions was to change the way the lease was worded, so that there is a fixed fee and then they get a discount if they are a “qualified buyer”. They also had an issue with the fee related to the lease rate, as it was not a fixed dollar amount. There was a suggestion to create a transfer fee that is fixed and there again the “qualified buyer” could apply for it to be waved.

There was much discussion as to what RD had issues with and how the lease could be amended to address those concerns. The discussion included that there are other loans out there that have been funded; however the type of loans provided by USDA RD are the type of loans that the people who need affordable housing would need.

Urban Renewal district along Third Street and if it was created then the City would pay back half of the cost of the study. Council Member Bailey stated that if the City made a commitment to pay it back then the City needs to be committed to paying it back. He indicated that the records should be checked to find out if the City does indeed owe money to the Urban Renewal Agency.

Council Member Scott referred to the comment on the limited funds for golf advertising. Eric McCormick, Golf Superintendent, stated that there is a grant from the Idaho Tourism Council that allows him to attend three Golf shows throughout the state each year. He attends the shows as a group with all the other local golf courses. Also some of the marketing money goes toward the web site. He stated that magazines articles are not worth the expense and he has found that the one on one promotion is more effective.

Council Member Delaney moved to suspend the rules, and read by title only, one time only Ordinance No. 867. Council Member Bailey seconded the motion. In a roll call vote, Council Member Delaney, Council Member Bailey, Council Member Scott and Council Member Witte, all voted aye and the motion passed.

Mrs. Wagner read Ordinance No. 867 by title only.

Council Member Delaney moved adopt Ordinance No. 867, setting the FY10 City of McCall budget appropriation at \$16,111,998. Council Member Bailey seconded the motion. In a roll call vote, Council Member Delaney, Council Member Bailey, Council Member Scott and Council Member Witte, all voted aye and the motion passed.

AB 09-178 Continuation of FY09 Local Option Tax discussion: Revenue Projection & Funding Priorities for Remaining Projects

Steve Gleason, Chairman of the Local Option Tax Commission, stated that the City was facing an additional shortfall in funding and recommended that Council accepts the City Manager's recommendation of the cut of three City projects from among the remaining FY09 LOT projects. Those projects were the Downtown Parking Study at \$16,200, the Intersection at Lick Creek and Davis at \$31,500 and the Golf Equipment at \$3,800 for a total of \$51,500.

There was General consensus from the Council to accept staff recommendation as stated above.

AB 09-172 Amended Ground Lease with Neighborhood Housing Services for the Remaining McCall Avenue Homes

There was general discussion regarding the changes recommended by USDA.

Council Member Bailey moved to approve the Amended and Restated Ground Lease with the changes recommended by Bill Nichols and the following revisions:

- **Page four, Section Three, Paragraph four, first sentence – Add “of this Lease” after the words “Upon transfer” and capitalize the word “Lease”**
- **Page four, Section Three, Paragraph four, end of second sentence, seven lines down – add “, of which shall be binding on the parties”**
- **Page four, Section Three, Paragraph four, fifth sentence, thirteen lines down – add “each” after the words “Lessee shall”**
- **Page four, Section Three, Paragraph five, first sentence, two lines down – add “to lessor” after the words “Lessee shall pay”**

Member Delaney, Council Member Witte, Mayor Bailey, Council Member Kulesza, and Council Member Scott all voted aye and the motion passed.

AB 10-54 FY10 LOT Update

At the August 13, 2009 City Council Meeting, the Council discussed the Local Option Tax (LOT) distribution. Staff requested guidance from the Council regarding the priority for the LOT funds distribution. At that time it was clarified that the matrix for the LOT funds was mandated by the recommendations given to Council from the LOT Commission. At the conclusion of the discussion the Council decided to go forward as recommended by the LOT Commission and revisit the LOT matrix in early 2010.

BessieJo Wagner, City Clerk, presented Council with a 4 year analysis of the LOT funding dollars. She showed the comparison of actual dollars to average dollars to give a clearer picture of what to expect when forecasting for LOT dollars.

Steve Gleason, Chairman of the LOT Commission recommended a 15% holdback to all the remaining projects in anticipation of a shortfall at the end of the year.

Mayor Bailey requested that staff provide Council with the previous ordinances that were formulated during the LOT campaign.

Council Member Kulesza moved to approve the 15% hold back as recommended by the Local Option Tax Commission. Council Member Delaney seconded the motion. In a roll call vote Council Member Kulesza, Council Member Delaney, Mayor Bailey, Council Member Scott and Council Member Witte all voted aye and the motion passed.

AB 10-59 Economic Development funding for FY10

Mr. Kirkpatrick stated that the list presented was primarily derived from the Economic Development work session. Council Member Delaney questioned as to why UPRED was included in the list of activities to fund. Mr. Kirkpatrick clarified that there had been previous discussion as to a way to fund the Upper Payette River Economic Development Council (UPRED).

Council Member Kulesza suggested that the money be held for “other” and not specify UPRED, to wait and see where the UPRED meeting goes in March. He stated that the money may give some leverage as to what projects would be priority.

Council Member Delaney did not feel that Council wanted to fund UPRED; she felt that it was Mr. Kirkpatrick’s choice to put it in the recommendation.

Mr. Kirkpatrick gave an explanation as to his recommendation and the reasoning behind the recommendations. Stating that Valley County Commissioners were going to revisit John Blaye’s contract and there would most likely be a restructuring of the UPRED Council. He stated that it was his understanding that Regional economic development was been on the table and with the reorganized UPRED it could be an opportunity.

Council Member Scott stated that UPRED it is a hot topic and that the Council needed to be very clear with their direction as to how the funds would be spent should they choose to fund them.

Cindy Blackman, Personnel Manager, indicated that the cost of benefits would most likely go up significantly and would budget about a 15% increase for benefits. The increase would be passed onto the employees with dependent coverage. Council Member Kulesza raised the question as to whether some employees may want more medical costs paid as opposed to a merit increase. Discussion ensued on the costs of benefits.

Local Option Tax (LOT) Funding

The Council discussed whether it was appropriate for the City to put in for such a large amount of requests for City projects. The Council also discussed alternate ways to respond to apparent funding shortfall. The discussion included ranking the projects and the projects on the bottom of the priority list would be the projects to get cut instead of doing a percentage across the board. It was stated that the LOT Commission would be meeting prior to May 28, 2010.

Golf Fund

The Council discussed what to do with the \$175000, in the general fund that had been used for capital purchases in previous years. Council Member Delaney suggested that it would make sense for the money to be allocated to the Golf Course to alleviate the deficit in the golf fund. There was continued discussion of forgiving the “loan” of \$700,000, from the General Fund to the Golf Fund and what that would mean.

Mayor Bailey suggested that the Council look at a way to purchase a new building for the golf maintenance. Council Member Delaney suggested that the Council get a better understanding of what the needs are for the Golf Course. Council Member Kulesza stated that he agreed and would also like to look at some of the other funds and projects that may need help as well. The Council came to a general consensus that some property tax money should be allocated to the golf course.

Council Member Witte joined the meeting at 2:15 p.m.

Committee Priorities – Committee Chairs share their suggestions for the FY11 Budget

- Parks and Recreation Advisory Committee - Shorty Clark
Mr. Clark shared with the Council the Parks and Recreation Committees suggestions for the FY11 budget. He stated that they had applied for Local Option Tax funds for bike path maintenance. Following is a list of the other items Mr. Clark called out as priorities for the Parks and Recreation Committee:
 - ✓ Browns Park pathways
 - ✓ Gazebo for Browns Park to host a variety of events
 - ✓ Riverfront Park development
 - ✓ Christmas tree lights - LED replacements
 - ✓ Recreation uniforms and equipment
 - ✓ Parks – Vehicles – replacement needs
 - John Deer – mower blower sweeper = \$25,000
 - Utility terrain vehicles
 - \$63,000 worth of vehicle equipment replacements

- Planning and Zoning Commission - Phil Feinberg
Mr. Feinberg shared with the Council the Planning and Zoning Commissions suggestions for the FY11 budget. Mr. Feinberg commented that the Browns Park improvements of a

Gazebo and the path reconstruction would benefit the overall economic climate for McCall. He also stated that he would like for the City to consider a place to where people could email their comments.

- Environmental Advisory Committee - Claire Remsberg
Ms. Remsberg shared with the Council the Environmental Advisory Committee's suggestions for the FY11 budget. Ms. Remsberg stated that the committee was looking at a Community Composting System in conjunction with the Parks Department and Golf Course. The committee is planning a hazardous equipment collection day to give the community an opportunity to dispose of household hazardous waste such as paint. Ms. Remsberg stated that the committee is looking into the use of LED lights in the City street lights.
- Historic Preservation Commission - Brian Corcoran
Mr. Corcoran shared with the Council the Historic Preservation Commission's suggestions for the FY11 budget. Mr. Corcoran stated that much of the commission's efforts would be on the McCall Centennial. The commission is planning to display Reader Boards around town that depicts the History of McCall.
- Library Board of Trustees - Nancy Butler
Ms. Butler shared with the Council the Library Board of Trustees' suggestions for the FY11 budget. She stated that there is much is going on at the library and they are very limited with the amount of space they have. Ms. Butler stated that the library has no storage, and no meeting room. The building is about a third of the size it should be. The Trustees are advocating for a new building. Ms. Butler indicated that the Friends of the Library would assist in getting a bond on the ballot for a new library.
- McCall Improvement Committee - Caroline Trino
Ms. Trino stated that the McCall Improvement Committee gives money to improve the City. She indicated that the committee raises money throughout the Community. Ms Trino gave a brief history of the accomplishments of the McCall Improvement Committee. The committee's priorities were as follows:
 - ✓ Clean up efforts on 3rd street
 - ✓ Support recyclingThe Committees focus will be on the America in Bloom Project for 2010. She stated that it will be a good opportunity to put McCall on a different kind of map. They will focus on what makes the City attractive for people to come. The competition is July 26 and 27, 2010.
- Golf Course Advisory Committee - Roger Snodgrass
Mr. Snodgrass stated the City Course in good shape and their focus is to maintain a high level of maintenance. There is always a need for new equipment.
- Local Option Tax Commission - Roger Snodgrass
Mr. Snodgrass presented Council with the Local Option Tax Commissions recommendations for FY11 LOT Funds. He stated that the Commission's recommendations were very conservative. The Commission requested that Council put together a priority list of the submittals

a roll call vote, Council Member Witte, Council Member Delaney, Mayor Bailey, Council Member Kulesza, and Council Member Scott all voted aye and the motion carried.

PUBLIC COMMENT

Mayor Bailey called for public comment at 7:34 p.m.

Mike Medberry, Lake Fork, Idaho, distributed letters to Council and questioned what happened with the McCall Solar project. Mr. Medberry thanked Council for making the process fair and allowing them to be considered. He indicated he was not asked by the Committee to provide a proposal, and appreciated that Council did give them the opportunity. Mr. Medberry provided statements from local citizens regarding his company. He felt there was appropriate expertise in McCall, and the City should support locals.

Tabitha Martineau requested the Council award to a local company, if a local company has a competitive bid.

Dan Wilson agreed and wanted qualified locals to be given first consideration.

Dustin Baker, Idaho Solar Design, Boise, indicated they would partnership with Mike Medberry from Lake Fork if awarded any work in the McCall area.

Judy Anderson, Nissula Road, McCall, spoke in support of Idaho Solar Design.

Hearing no further comments, Mayor Bailey closed the public comment.

PROCLAMATION

AB 10-135 Humanitarian Wood Work Day Proclamation

Council Member Scott moved to Proclaim July 10, 2010, to be Humanitarian Wood Work Day in the City of McCall, and authorize the Mayor to sign the proclamation. Council Member Witte seconded the motion. In a roll call vote Council Member Scott, Council Member Witte, Council Member Kulesza, Council Member Delaney and Mayor Bailey all voted aye and the motion carried.

BUSINESS AGENDA

AB 10-138 LOT Commission Annual Report

Steve Gleason, Chairman of the Local Option Tax Committee, reported on actual vs. projected revenue and expenses. Income was significantly behind projections. Disbursements have been

reduced by 15%. Income is trending at 13.91% below projected. Mr. Gleason explained the charts that were provided, and reviewed the 2011 project priorities. The committee will take staff recommendations to heart. Mayor Bailey requested the Committee consider McPaws' new income source when making recommendations. Council Member Scott indicated they opened the thrift store to offset the reduced donations. Council Member Kulesza stated that the LOT Committee does a great job and thanked them for their efforts. Council Member Delaney asked the Committee to date reports in the future.

AB 10-124 PUD-09-04: 401 Jacob Street – The Springs Apartments

Brad Kraushaar, City Planner, reviewed the application for the final plan of The Springs Apartments Planned Unit Development. The applicant has satisfied all outstanding conditions. A discussion regarding amounts, engineering approval, legal description and road building occurred. Staff recommendation is for approval.

Council Member Kulesza moved to approve PUD-09-04 subject to the presented Findings and Conclusions. Council Member Scott seconded the motion. In a roll call vote Council Member Kulesza, Council Member Scott, Council Member Witte, Mayor Bailey, and Council Member Delaney all voted aye and the motion passed.

Council Member Delaney moved to approve the Development Agreement for PUD-09-04 and authorize the mayor to sign all necessary documents. Council Member Witte seconded the motion. In a roll call vote Council Member Delaney, Council Member Witte, Mayor Bailey, and Council Member Scott all voted aye and the motion passed.

AB 10-130 SUB-06-07 and PUD-06-03: Alpine Village Planned Unit Development Third Amendment to the Development Agreement

Council Member Scott recused herself at 8:12 p.m. stating conflict of interest as she has a family member who is part of the development at Alpine Village.

Michelle Groenevelt, Community Development Director, explained the Third Amendment to the development agreement for the Alpine Village Planned Unit Development.

Council Member Delaney moved to approve the Third Amendment to the Development Agreement for Alpine Village PUD and authorize the Mayor to sign all necessary documents. Council Member Kulesza seconded the motion. In a roll call vote, Council Member Delaney, Council Member Kulesza, Mayor Bailey and Council Member Witte all voted aye and the motion passed.

Council Member Scott rejoined the meeting at 8:14 p.m.

AB 10-221 CA-09-01: Code Amendment – Lake Frontage Minimum for Residential Zones and Alternatives

Michelle Groenevelt, Community Development Director, stated that this code amendment had been to Council several times. Each time there had been various community comments that have brought up some questions that need to be clarified for the Council. She stated that a joint session for the City Council and Planning and Zoning Commission had been scheduled so that the Council could then give direction on whether or not to pursue the proposed code amendment.

Mayor Bailey wanted to confirm that if needed all property owners around the lake could be notified in the event an amendment is recommended. Ms. Groenevelt confirmed that they could.

Council Member Scott asked that examples of small, medium, and large lots to be provided at the meeting, and describe the implications if the lot were to become nonconforming due to the code amendment.

Council did not take action on the proposed code amendment CA-09-01. The item will be discussed with McCall Area Planning and Zoning Commission at the October 22, 2010 work session. Based on the outcome of the work session, staff will provide additional information and prepare the necessary documents for the November 18, 2010 meeting.

AB 10-226 Local Option Tax Revenue Update

BessieJo Wagner, City Clerk stated that at the February 25, 2010 City Council Meeting staff advised Council that the LOT revenue was showing a 17% decrease from the four year average LOT revenue. The Council voted to holdback 15% of the recommended funding for the remainder of the FY10 LOT projects due to the revenue shortfall. Ms Wagner stated that the City is able to pay all scheduled recipients (at their 15% reduced amount) with what has been received to date. Staff is asking for direction from the Council as to how the remainder of the funds will be disbursed. Staff asked that the Council consider the following three options:

1. Pay each of the projects the remaining 15%
2. Fund the Contingent projects at 85%
3. Return the monies to the tax payers in the form of property tax reduction

Council Member Delaney stated that she was in favor of option #1.

Council Member Witte was also in favor of option #1, and suggested that the funding start with the smaller dollar amounts.

Mayor Bailey suggested involvement by the LOT Commission with the determination of how to disburse the funds.

Mayor Bailey moved that staff, in conjunction with the LOT Commission if they choose to participate, determine which of the projects that have been funded will receive their additional 15%, and with any funds left over fund as many of the projects on the contingency list as are possible. Council Member Delaney seconded the motion. In a voice vote all members votes aye and the motion carried.

Council Member Witte stated that the fees for the Golf Course should be evaluated to ensure that they are sufficient. Mr. Kirkpatrick stated that the Golf Fees would come before the Council late January or early February 2012.

Mayor Bailey moved to approve the use of \$20,000 from Council Contingency and \$743 from Council Travel & Meetings to reimburse the Golf Fund for the cost of screening the driving range. Council Member Scott seconded the motion. In a roll call vote Mayor Bailey, Council Member Scott, Council Member Aymon, Council Member Swanson, and Council Member Witte all voted aye and the motion passed.

AB 11-160 FY11 Local Option Tax Update and Prioritization

BessieJo Wagner, City Clerk presented the Local Option Tax (LOT) update to Council. The Council reviewed the latest LOT revenue projections and the proposed prioritization of projects for an expanded contingency list. Mrs. Wagner stated that based on trend the LOT revenues will exceed the first contingency list, so the expanded list of contingent projects would be necessary.

Council Member Witte felt that the additional LOT funds should go to some of the capital projects for the City rather than going back and funding other projects. She stated that the Golf Course retrofit to correct a safety issue and the Parks and Recreation Utility vehicle would be a better use of the anticipated funds for the citizens and tourists.

Mayor Bailey suggested that the City go back to the voters with a 1% sales tax that would be committed to capital improvement.

There was some discussion as to the order of the contingent list. Mr. Kirkpatrick clarified that at an earlier Council Meeting there was a discussion regarding the LOT funds and that the direction was that the funds should be allocated to other projects first prior to City Projects. Council Member Witte stated that she felt that City projects should be first to be funded, since the LOT funds were meant to be used to mitigate the effects of tourism on the City.

Council Member Aymon moved to approve the priority list of projects to receive additional FY11 LOT funding provided that the funds are received. Council Member Swanson seconded the motion. In a roll call vote Council Member Aymon, Council Member Swanson, Mayor Bailey, and Council Member Scott, all voted aye; Council Member Witte voted no and the motion passed.

AB 11-159 Contract Award for Brown Park Pathway Re-Construction

Dennis Coyle, Parks and Recreation Director, stated that On Sept 1, 2011 informal bids were solicited for the Brown Park pathway re-construction. Bids were solicited from three local contractors. Mr. Coyle stated that the project was divided into five alternative bid sections. Bids were opened and reviewed on September 8, 2011. Construction was planned to begin by September 19, 2011 and be completed by October 14, 2011. Mr. Coyle stated that Granite Excavation was the low bidder. The bid for the entire project broke out as follows: the base bid at \$36,526; Alternative 1 at \$7,422; and Alternative 2 at \$8,088 with a total of \$52,036.

Mayor Bailey moved to authorize staff to enter into a contract with Granite Excavation for the re-construction of the Brown Park Pathway to include the base bid, Alternative 1, Alternative 2, and authorize the Mayor to sign all necessary documents. Council Member

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 19-053
Meeting Date March 14, 2019**

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to Reallocate Local Option Tax Funds for the McCall Winter Sports Club</i>	<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
	Mayor / Council		
	City Manager	ABS	
	Clerk	HW	Originator
	Treasurer		
	Community Development		
	Police Department		
	Public Works		
	Golf Course		
COST IMPACT:	Parks and Recreation		
FUNDING SOURCE:	Airport		
	Library		
TIMELINE:	Information Systems		
	Grant Coordinator		

SUMMARY STATEMENT:

Local Option Tax (LOT) recipients have one year to utilize funds received and give report on how they were expended. The McCall Winter Sports Club was awarded \$2175 for their LOT application 19-38, Alpine Chris Bodily Memorial 4-way Race. The receipts for the expenditures for the event total \$2087.64, leaving a balance of \$87.36. Rather than refunding the balance, they are requesting a reallocation of the remaining funds toward their application 19-40, Hidden Valley Hoedown, which was awarded \$2800. Funds for both events are expected to be disbursed in March 2019, with completion reports and receipts due the by March 2020.

See the attached McCall Winter Sports Club’s LOT 19-38 and 19-40 funding applications, along with the correspondence requesting the reallocation of the funds.

RECOMMENDED ACTION:

Approve the reallocation of unspent Local Option Tax funds for McCall Winter Sports Club’s LOT application 19-38 in the amount of \$87.36 to their application 19-40 and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 20-048
Meeting Date February 27, 2020

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to Approve a Re-allocation of Local Option Tax Dollars for Roots Forest School</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	N/A	Airport		
FUNDING SOURCE:	N/A	Library		
TIMELINE:	N/A	Information Systems		
		LOT Administrator	AP	Originator

SUMMARY STATEMENT:

The Roots Forest School was awarded \$1,664 for the Trek to the North Pole event. LOT Recipients have one year to utilize those funds and give report on how they were expended. The Roots School submitted their completion report and noted that they had only spent \$1,626, therefore they are requesting that the remaining \$38 be re-allocated to their 5K family fun run which they host every July in Ponderosa State Park. The funds would be used for refreshments for the participants.

See the attached letter from the Roots Forest School requesting the re-allocation of funds. Their original application is also attached.

RECOMMENDED ACTION:

Approve the request from the Roots Forest School to re-allocate Local Option Tax funds of \$38 to their 5K family fun run and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 20-142
Meeting Date May 21, 2020

AGENDA ITEM INFORMATION

SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
<i>Request to Approve a Re-allocation of Local Option Tax Dollars for Little League of West Central Idaho</i>		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	N/A	Airport		
FUNDING SOURCE:	N/A	Library		
TIMELINE:	N/A	Information Systems		
		LOT Administrator	AP	Originator

SUMMARY STATEMENT:

The Little League of West Central Idaho was awarded \$1,500 for Snow Removal from Golden Glove Field. Due to the stay-at-home order, Little League was not able to start their season as early as hoped.

Little League of West Central Idaho would like to use the \$1,500 toward field improvements. Options include refreshing the infield with red dirt, creating warm up pitching and batting areas and making pitching mounds meet baseball requirements.

The Parks and Recreation Director supports this request.

See the attached letter from the Little League of West Central Idaho requesting the re-allocation of funds.

RECOMMENDED ACTION:

Approve the request from the Little League of West Central Idaho to re-allocate Local Option Tax funds of \$1,500 to baseball field improvements and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 20-143
Meeting Date May 21, 2020**

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
<i>Request to Approve a Re-allocation of Local Option Tax Dollars for McCall Winter Sports Club</i>		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	N/A	Airport		
FUNDING SOURCE:	N/A	Library		
TIMELINE:	N/A	Information Systems		
		LOT Administrator	AP	Originator
SUMMARY STATEMENT:				
<p>The McCall Winter Sports Club (MWSC) was awarded \$3,350 for the Hidden Valley Hoe Down event. Due to mandatory cancellations of large events, the event, which was scheduled for March 21-22, 2020, was cancelled. Of the amount allotted, \$451.56 was used toward sunglasses with 2020 printed on them for participants. These items were non-refundable.</p> <p>MWSC would like to use the remaining \$2898.44 toward athletic scholarships. There is an anticipated greater need for scholarships for the upcoming season due to Covid-19. Winter 20/21 programming will go on sale in early June.</p> <p>See the attached letter from the McCall Winter Sports Club requesting the re-allocation of funds.</p>				
RECOMMENDED ACTION:				
<p>Approve the request from the McCall Winter Sports Club to re-allocate Local Option Tax funds of \$2898.44 to athletic scholarships for participants and authorize the Mayor to sign all necessary documents.</p>				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 21-085
Meeting Date March 25, 2021**

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
Request to Approve a Re-allocation of Local Option Tax Dollars for Friends of the Payette Avalanche Center		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	N/A	Parks and Recreation		
FUNDING SOURCE:	N/A	Airport		
		Library		
TIMELINE:	N/A	Information Systems		
		LOT Administrator	AP	Originator
SUMMARY STATEMENT:				
<p>The Friends of the Payette Avalanche Center were awarded \$8,500 for updates to the Granite Mountain weather station. The Friends were able to complete fixing the weather station for \$8,136. They would like to apply the additional \$364 toward repairs incurred in repairing a snowmobile needed for the forecasters.</p> <p>See the attached letter from the Friends of the Payette Avalanche Center requesting the re-allocation of funds. Their original application is also attached.</p>				
RECOMMENDED ACTION:				
<p>Approve the request from the Friends of the Payette Avalanche Center to re-allocate Local Option Tax funds of \$136 toward the cost of repairs incurred on one of their snowmobiles and authorize the Mayor to sign all necessary documents.</p>				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 21-125
Meeting Date May 6, 2021**

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to Approve Re-allocation of Local Option Tax Dollars for the McCall Area Chamber of Commerce</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk	AW	Originator
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		COST IMPACT:	\$12,500	Parks and Recreation
FUNDING SOURCE:	Local Option Tax Funds	Airport		
		Library		
TIMELINE:	2021	Information Systems		
		LOT Administrator		

SUMMARY STATEMENT:

Due to the pandemic, Local Option Tax Funds received by the McCall Area Chamber of Commerce were not able to be spent on Winter Carnival projects approved by Council. The Chamber is requesting to reallocate some of those funds. Please reference the attached requests submitted by the Chamber.

RECOMMENDED ACTION:

Approve the request from the McCall Area Chamber of Commerce to re-allocate Local Option Tax funds of \$12,500 toward a summer concert series, the McCall Promise project, and future Winter Carnival logistics planning, and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

McCALL CITY COUNCIL
AGENDA BILL

216 East Park Street
 McCall, Idaho 83638

Number AB 21-126
Meeting Date May 13, 2021

AGENDA ITEM INFORMATION

SUBJECT: <i>Little League of Central Idaho and Parks & Recreation Request for Reallocation of LOT Funds and MOU for shared equipment and storage facility</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk	#10	Supporter
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	Potential Cost Share T.B.D.	Parks and Recreation	KW	Originator
FUNDING SOURCE:	Recreation Operating Budget, LOT Funds, and new Program Revenue Stream	Airport		
		Library		
TIMELINE:	May 13, 2021	Information Systems		
		Grant Coordinator		

SUMMARY STATEMENT:
 Little League of Central Idaho (LLCI) is a new youth sports organization of dedicated parent coaches that offer a competitive travel baseball team for local youth. The club has non-profit status and has worked closely with the Recreation Department for registration assistance and new equipment amenities and storage space that will complement both programs. The LLCI approached the City of McCall Parks and Recreation Department about partnering with the club to help install new batting cages and create additional storage space at Gold Glove Park in the form of a prefabricated shed like the existing shed on site.

The Little League of West Central Idaho was awarded \$3500 in LOT funds to purchase two portable pitching mounds. After purchasing one mound they realized there was an immediate need for storage for said mound. Working with the City Parks & Recreation Department, they would like to reallocate the remaining funds to build a storage facility at Golden Glove Park instead of purchasing a second mound. The LLCI has submitted an FY22 LOT application to construct batting cages on site.

Additionally, staff would like to establish a formal MOU with LLCI as it relates to the shared use of the equipment, electricity, and additional storage shed to be placed next to the city’s existing storage shed at Gold Glove Park. The MOU and the reallocation request are attached.

RECOMMENDED ACTION:
 Approve the attached MOU and re-allocation of 2020 LOT funds with the Little League of Central Idaho as requested by LLCI and approve the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 21-140
Meeting Date May 27, 2021**

AGENDA ITEM INFORMATION

SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>		
Request to Approve a Re-allocation of Local Option Tax Dollars for Manchester Ice Center		Mayor / Council				
		City Manager	ABS			
		Clerk				
		Treasurer				
		Community Development				
		Police Department				
		Public Works				
		Golf Course				
		COST IMPACT:	N/A	Parks and Recreation		
		FUNDING SOURCE:	N/A	Airport		
		Library				
TIMELINE:	N/A	Information Systems				
		LOT Administrator	AP	Originator		

SUMMARY STATEMENT:

The Manchester Ice Center was allotted \$10,500 for their Learn to Skate program. Due to Covid-19, they did not have as many students participating this year and have only used \$7,500. They wish to use the remaining \$3000 toward Bump and Skate field trips for 4th – 12th grade students.

See the attached letter from Manchester Ice Center requesting the re-allocation of funds.

RECOMMENDED ACTION:

Approve the request from Manchester Ice Center to re-allocate Local Option Tax funds of \$3,000 toward the cost of Bump to Skate field trips and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 21-228
Meeting Date September 9, 2021**

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to Approve Re-allocation of Local Option Tax Dollars for the McCall Area Chamber of Commerce</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk	AW	Originator
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		COST IMPACT:	\$5,500	Parks and Recreation
FUNDING SOURCE:	Local Option Tax Funds	Airport		
		Library		
TIMELINE:	2021	Information Systems		
		LOT Administrator		

SUMMARY STATEMENT:

Due to the pandemic, Local Option Tax Funds received by the McCall Area Chamber of Commerce were not able to be spent on Winter Carnival Fireworks as approved by Council. The Chamber is requesting to reallocate some of those funds. Please reference the attached requests submitted by the Chamber.

RECOMMENDED ACTION:

Approve the request from the McCall Area Chamber of Commerce to re-allocate Local Option Tax funds of \$5500 toward a Family-Friendly Community Celebration Event and authorize the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 21-288
Meeting Date December 16, 2021**

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
Request to Approve Re-allocation of Local Option Tax Dollars for Roots Forest School		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	\$2,089.00	Parks and Recreation		
FUNDING SOURCE:	Local Option Tax Funds	Airport		
		Library		
TIMELINE:	2022	Information Systems		
		LOT Administrator	AP	Originator
SUMMARY STATEMENT:				
<p>Due to the pandemic, Roots Forest School has decided to cancel their annual Trek to the North Pole. They are requesting to reallocate those funds to use toward the fees they pay to use Ponderosa State Park. Please reference the attached requests submitted by the school.</p>				
RECOMMENDED ACTION:				
<p>Approve the request from the Roots Forest School to re-allocate Local Option Tax funds of \$2,089.00 toward the fees paid to Ponderosa State Park and authorize the Mayor to sign all necessary documents.</p>				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

McCALL CITY COUNCIL
AGENDA BILL

216 East Park Street
 McCall, Idaho 83638

Number AB 22-116
Meeting Date May 12, 2022

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to Reallocate Little League of Central Idaho LOT Funds</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk	AP	Ordinator
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
			Parks and Recreation	
COST IMPACT:				
FUNDING SOURCE:	LOT Funds, and Program Revenue Stream	Airport		
		Library		
TIMELINE:	May 12, 2022	Information Systems		
		Grant Coordinator		

SUMMARY STATEMENT:

Little League of Central Idaho (LLCI) is a youth sports organization of dedicated parent coaches that offer a competitive travel baseball team for local youth. The club has non-profit status and has worked closely with the Recreation Department for registration assistance and new equipment amenities and storage space that will complement both programs. The LLCI approached the City of McCall Parks and Recreation Department about partnering with the club to help create additional storage space at Gold Glove Park in the form of a prefabricated shed like the existing shed on site.

The Little League of West Central Idaho was awarded \$3500 in LOT funds for a storage shed. After purchasing the shed there is a remaining balance of \$1341.42. LLCI would like to ask to use the additional funds toward a tarp roller for storing their newly acquired field tarp

Please see the attached reallocation request letter, along with a copy of the original application.

RECOMMENDED ACTION:

Approve the re-allocation of 2022 LOT funds with the Little League of Central Idaho as requested by LLCI and approve the Mayor to sign all necessary documents.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 22-200
Meeting Date July 28, 2022**

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
Request the Reallocation of LOT funds for Golf FY19 Rebuild of 6 Aspen green to the Rebuild of Clubhouse ramp/stairs to meet ADA compliance		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course	ESM	Originator
		COST IMPACT:	12,500.00	Parks and Recreation
FUNDING SOURCE:	LOT	Airport		
		Library		
TIMELINE:	FY22	Information Systems		
		Grant Coordinator		
SUMMARY STATEMENT:				
<p>In 2019 the Golf Department was awarded \$12,500 in LOT funds to match the same from the McCall Men’s Golf Association (MMGA) for the rebuild of the 6 Aspen Green. At that same time the Golf Course Advisory Committee recommended to Council that the golf course do a master plan to inform capital projects on the course. The MMGA reallocated their matching funds from the 6 Aspen project to help the city pay for the master plan instead. The adopted master plan set a schedule of projects by priority based on safety, etc. Meanwhile the clubhouse stairs/ramp have substantially deteriorated, and it is a higher priority to upgrade the failing ramp/stairs to a safe condition that also meets ADA compliance than it is to rebuild the 6 Aspen green. Therefore, staff requests that Council reallocate the FY19 LOT award from the 6 Aspen project and authorize staff to use those funds on the rebuild of the ramp/stairs to the clubhouse.</p>				
RECOMMENDED ACTION:				
<p>Reallocate FY19 Golf LOT funds of \$12,500 toward the rebuild of the Clubhouse Ramp to meet ADA compliance.</p>				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

Number AB 22-299
Meeting Date November 17, 2022

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
Reallocation of \$10,000 FY23 Local Option Tax Funding for 4th of July Fireworks – Discussion and Direction to Staff		Mayor / Council		
		City Manager	ABS	
		Clerk	JW	Originator
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
		Airport		
Library				
Information Systems				
Grant Coordinator				
COST IMPACT:	\$10,000			
FUNDING SOURCE:	LOT			
TIMELINE:				

SUMMARY STATEMENT:

On April 27, 2022 the McCall Area Chamber of Commerce (the Chamber) applied to the Local Option Tax (LOT) Commission for a 4th of July Fireworks Display in the amount of \$10,000. The LOT Commission recommended the request for funding be approved by the City Council as priority project #21. During the City Council’s budgeting process, they approved the funding as recommended by the LOT Commission. During the Chamber’s September 8, 2022 board meeting, the Events Committee proposed dissolution of hosting the 4th of July fireworks (these minutes were in the Council’s October 6th meeting packet and are attached). The Chamber Board voted to approve this proposal. On November 9th staff received an email from the Chamber’s Executive Director, Julie Whitescarver, with a letter from the Chamber formally stating that they will no longer host the 4th of July Fireworks beginning in 2023(both attached). Therefore, the LOT funds that were awarded the Chamber for the fireworks display in 2023 need to be reallocated.

In the Chamber’s FY23 LOT Application (attached) they state that the total cost of the fireworks display is approximately \$16,500. Staff is requesting that the Council consider options for reallocating the \$10,000 LOT funds. Would Council like for staff to solicit a new non-profit partner for Lakeside Liberty Fest that would receive the LOT funds and sponsor the fireworks? Or would the Council like for staff to come back at a future meeting with ideas for how Parks and Recreation could utilize the funds for Lakeside Liberty Fest? Parks and Recreation Director Kurt Wolf will be present to answer questions if needed.

The Fireworks LOT application was scheduled to be funded in July or August 2023 depending on when the LOT funds are available.

RECOMMENDED ACTION:

Discuss and give direction to staff regarding the reallocation of \$10,000 LOT fund for 4th of July fireworks display.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number
Meeting Date**

**AB 23-011
January 12, 2023**

AGENDA ITEM INFORMATION				
SUBJECT:		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
4th of July Fireworks – Discussion and Direction to Staff		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
COST IMPACT:	\$10,000	Parks and Recreation	AW	Supporter
FUNDING SOURCE:	LOT	Airport		
		Library		
TIMELINE:		Information Systems		
		Communications		Originator
SUMMARY STATEMENT:				
<p>On November 17th (AB 22-299) Council discussed with staff 4th of July Fireworks funding and reallocation of LOT funding after the Chamber of Commerce notified the city they will no longer host the show. Council determined they would like a show but requested staff to return with options and information on cost, logistics and next steps.</p>				
RECOMMENDED ACTION:				
<p>Discuss and give direction to staff regarding the 4th of July fireworks display and next steps regarding logistics and funding.</p>				
RECORD OF COUNCIL ACTION				
MEETING DATE	ACTION			

**McCALL CITY COUNCIL
AGENDA BILL**

216 East Park Street
McCall, Idaho 83638

**Number AB 23-213
Meeting Date November 9, 2023**

AGENDA ITEM INFORMATION

SUBJECT: <i>Request to approve reallocation of FY22 LOT funding to the Local Art for Light Boxes project</i>		<i>Department Approvals</i>	<i>Initials</i>	<i>Originator or Supporter</i>
		Mayor / Council		
		City Manager	ABS	
		Clerk		
		Treasurer		
		Community Development		
		Police Department		
		Public Works		
		Golf Course		
		Parks and Recreation		
COST IMPACT:	\$5,000	Airport		
FUNDING SOURCE:	FY22 LOT 10-47-150-642	Library		
TIMELINE:	asap	Information Systems		
		Economic Development	DJY	originator

SUMMARY STATEMENT:

The recently completed downtown mural project was partially funded by fiscal year 2022 (FY22) Local Option Tax (LOT) collections which totaled \$17,500 on the contingency funding list. Thanks to project cost savings and funding support from the McCall Redevelopment Agency, the mural project is complete and a \$5,000 balance of FY22 LOT funding remains.

During the FY23 LOT funding process, the Local Art for Light Boxes project was recommended for funding of \$10,500. However, FY23 LOT collections are less than budgeted, and this project did not receive funding. Therefore, the Public Art Advisory Committee is requesting that the remaining balance (\$5,000) of FY22 LOT funds approved for the downtown mural project be reallocated to the Local Art for Light Boxes project.

The total budget for the Local Art for Light Boxes project is \$15,000, which would install vinyl wrap artwork on seven (7) light control pedestals. The McCall Redevelopment Agency has approved \$7500 for the project to date. If full project funding cannot be secured, the project will proceed with fewer light pedestal artwork installations at this time.

A copy of the Local Art for Light Boxes project proposal submitted for FY23 LOT funding is attached.

RECOMMENDED ACTION:

Approve reallocation of \$5,000 of FY22 LOT funding from the downtown mural project to the Local Art for Light Boxes project.

RECORD OF COUNCIL ACTION

MEETING DATE	ACTION

Local Option Tax Commission Guidance

Public Purpose Definition

When reviewing each application and during the applicants' presentation, the Commission will determine if the project meets the "public purpose" requirement. If the commission determines that the application does not meet a "public purpose" then that application will not be considered for funding.

What is "public purpose"? A governmental action or direction that purports to benefit the populace as a whole. *Cited from Webster's New World Law Dictionary Copyright © 2010 by Wiley Publishing, Inc., Hoboken, New Jersey.*

Public purpose can be defined as an action or direction, that is taken up by the government so that the entire population can be benefited. *Cited from Chegg Study.*

Does this application meet the "public purpose" requirement?

Yes No

State Law Governing LOT

Review state and local laws to assist you with determining which LOT applications are eligible for funding.

McCall City Code §4.12.5, derived from Idaho Code §50-1044

The local option non-property tax revenue derived from and collected under this chapter shall be used for direct costs to collect and enforce the tax and only for the following public purposes:

- (A) Streets, sidewalks and pathways, public transit, pedestrian crosswalks, and public transportation;
- (B) Construction and maintenance of cultural and recreational facilities;
- (C) Services for community recreational and cultural activities;
- (D) Public parks maintenance, development, and beautification;
- (E) Shelter and/or spay and/or neuter of stray animals found in the City;
- (F) Local housing program as recommended in the McCall Housing Strategy;
- (G) Services for McCall marketing, advertising, tourism development, and event promotion;
- (H) Mitigate the effects of tourism on the City that the General Fund cannot accommodate. (Ord. 965, 3-8-2018, eff. 1-1-2019)

Local Option Tax Commission Guidance

Evaluation Criteria

Score each application with the following scoring matrix.

Scoring Matrix

0 = Definitely **does not** meet the criteria

3 = Definitely **does** meet the criteria

1. The project engages the community and/or visitors in a way that meets the objectives of the LOT Ordinance.

- 0 - 1 - 2 - 3

2. The project promotes greater public participation in public and/or private programs and activities.

- 0 - 1 - 2 - 3

3. The project provides responsible planning and management of public resources.

- 0 - 1 - 2 - 3

4. The principal purpose of the project is to support the City's objective to provide opportunities for people living in and traveling to the city by providing a service that the City would not otherwise be able to provide.

- 0 - 1 - 2 - 3

5. The citizens receive the direct or indirect benefit of the completed project.

- 0 - 1 - 2 - 3

6. The project mitigates burdens placed on taxpayers due to a tourism economy.

- 0 - 1 - 2 - 3

Total Score: _____

Priority Consideration Guidance

Once the Commission has chosen the projects to be funded, you will use the following to assist with the priority order of funding for the projects.

1. What percentage of the populace does this project benefit? _____

2. Accessible to all without regard for the ability to pay? **Yes** **No**

3. Is the project leveraged with other funds? **Yes** **No**

ORDINANCE NO. 965

AN ORDINANCE OF THE CITY OF MCCALL, VALLEY COUNTY, IDAHO, FINDING THAT SAID CITY HAS SIGNIFICANT ECONOMIC DEPENDENCE ON VISITORS AND TRAVELERS; PROVIDING FOR DEFINITIONS; PROVIDING FOR THE IMPOSITION OF CERTAIN NON-PROPERTY TAXES, TO-WIT: AN ADDITIONAL THREE PERCENT (3%) OCCUPANCY TAX ON HOTEL-MOTEL RENTALS AND SHORT TERM RENTALS; PROVIDING FOR A TEN (10) YEAR DURATION OF SAID NON-PROPERTY TAXES; ESTABLISHING THE PURPOSES FOR WHICH THE REVENUES DERIVED FROM SAID NON-PROPERTY TAXES SHALL BE USED; CREATION OF A LOCAL OPTION TAX COMMISSION TO MAKE SPECIFIC RECOMMENDATIONS FOR THE FUNDING; AUTHORIZING THE CITY CLERK TO ADMINISTER, REGULATE, AND COLLECT SAID NON-PROPERTY TAXES; CREATING A PROPERTY TAX RELIEF FUND; PROVIDING FOR PERMITS AND ISSUANCE; PROVIDING METHOD FOR PAYMENT OF TAXES, AUDITS, DEFICIENCY DETERMINATIONS; RE-DETERMINATIONS OF DEFICIENCY, APPEALS, INTEREST ON DEFICIENCY, COLLECTIONS AND ENFORCEMENT; REFUNDS, LIMITATIONS AND INTEREST; PROVIDING FOR RESPONSIBILITY FOR PAYMENT OF TAXES; PROVIDING PERIOD OF LIMITATION ON ASSESSMENT AND COLLECTION; ESTABLISHING SUCCESSOR'S LIABILITY; PROVIDING FOR GENERAL ADMINISTRATION BY CITY CLERK; PROVIDING PENALTIES AND PENALTY CHARGES; PROVIDING EXEMPTIONS; PROVIDING CONFIDENTIALITY OF INFORMATION; PROVIDING FOR SEVERABILITY; PROVIDING A REPEALER CLAUSE; AND, PROVIDING AN EFFECTIVE DATE OF THIS ORDINANCE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF MCCALL, IDAHO:

SECTION 1.

Title 4 Chapter 12 of the McCall City Code is hereby repealed in its entirety and replaced with the following:

SECTION 2.

4.12.1: FINDINGS:

The City Council of the City of McCall hereby finds: a) that said city has a population not in excess of ten thousand (10,000) according to the most recent census and is a city that derives the major portion of its economic wellbeing from businesses catering to recreational needs and meeting needs of people traveling to said destination city for an extended period of time; b) that said city has a significant economic dependence upon visitors and travelers passing through or staying in the community and said city; and c) that said visitors and travelers require services of said city which place an undue burden upon the taxpayers of said city.

SECTION 3.

4.12.2: DEFINITIONS:

For the purposes of this Chapter, the following terms, phases, words, and derivations shall have the meanings given herein:

HOTEL-MOTEL OCCUPANCY CHARGE: Means and includes the total sales price for the rental use or temporary occupancy of a hotel-motel rental.

HOTEL-MOTEL RENTAL: Means and includes the rental or leasing of lodging to members of the public for a fee of any hotel room, motel room, condominium, home, room, or any other residential unit, except where a residence is maintained continuously under terms of a lease or similar agreement for a period in excess of thirty (30) days.

IN THE CITY OF MCCALL: Within the municipal boundaries of the City of McCall, Valley County, Idaho.

PERSON: Includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, limited liability company, corporation, estate, trust, business trust, receiver, trustee, syndicate, cooperative, assignee, or any other group or combination acting as a unit.

TAXPAYER: Any person subject to or liable for any taxes imposed by this Chapter.

SECTION 4.

4.12.3: IMPOSITION AND RATE OF CERTAIN NONPROPERTY TAXES:

The City of McCall hereby imposes and shall collect certain local option nonproperty taxes, as follows:

- (A) An additional three percent (3%) occupancy tax on the hotel, motel, and short term rental occupancy charge from all hotel-motel rentals and short term rentals; and
- (B) When the sales price involves a fraction of a dollar, said local option nonproperty taxes shall be collected on that fractional portion of the price by adding thereto the tax based upon a bracket system. The bracket system for the collection of the three percent (3%) occupancy tax shall be as set forth in Exhibit A, attached hereto and made a part hereof. The retailer shall calculate the tax upon the entire amount of purchases of the consumer made at a particular time subject to this Chapter, and not separately upon each item purchased. The retailer may retain any amount collected under said bracket system which is in excess of the amount of tax for which they are liable to the City during the period as compensation for the work of collecting said tax.
- (C) All monies collected and/or retained under the provisions of this Chapter shall be held in trust for the City of McCall and for payment thereof to the City Clerk in the manner and at the times provided in this Chapter.

SECTION 5.

4.12.4: DURATION OF TAXES:

The nonproperty taxes authorized and collected under this Chapter are hereby imposed for a duration of ten (10) years from the effective date hereof.

SECTION 6.

4.12.5: PURPOSES FOR USE OF REVENUES DERIVED FROM TAXES:

The local option non-property tax revenue derived from and collected under this Chapter shall be used for direct costs to collect and enforce the tax and only for the following public purposes:

- (A) Streets, sidewalks and pathways, public transit, pedestrian crosswalks, and public transportation
- (B) Construction and maintenance of cultural and recreational facilities
- (C) Services for community recreational and cultural activities
- (D) Public parks maintenance, development, and beautification
- (E) Shelter and or spay and/or neuter of stray animals found in the City
- (F) Local housing program as recommended in the McCall Housing Strategy
- (G) Services for McCall marketing, advertising, tourism development, and event promotion.
- (H) Mitigate the effects of tourism on the city that the general fund cannot accommodate

SECTION 7.

4.12.6: LOCAL OPTION TAX COMMISSION APPOINTMENT – TERM OF OFFICE – RESPONSIBILITIES:

- (A) There shall be a Local Option Tax Commission (“LOT Commission”) whose members shall be appointed by the City Council.
- (B) The LOT Commission shall be comprised of two (2) members of different City advisory committees, one senior citizen representative, two (2) representatives from businesses in McCall, and two (2) at large residents of the city. The initial appointment of one (1) City advisory committee, one (1) business and one (1) at large resident commissioner shall be for terms of two (2) years and the initial appointment of other one (1) City advisory committee, the other one (1) business and the other one (1) at large resident commissioner and the senior citizen representative shall be for terms of four (4) years. Subsequent appointments shall be made for four (4) years from the date of appointment, and until their successors are appointed.
- (C) Members of the LOT Commission shall serve without salary, but may receive their actual and necessary budgeted expenses while engaged in authorized business of the LOT Commission.

- (D) The members of the LOT Commission shall have the responsibility to make specific recommendations for the funding of written requests for the use of the local option non-property tax revenues derived from the taxes assessed pursuant to this Chapter, in accordance with the uses specified in Section 4.12.5 of this Chapter.
- (E) The LOT Commission will annually:
1. On or before March 15th review the City Clerk's estimates of non-property taxes anticipated to be collected in the next fiscal year; and estimate of the amount of the direct costs to enforce and collect the non-property taxes; and
 2. Set a deadline on or before April 30th for the filing of written requests with the City Clerk [using a form approved by the City Council] for the use of non-property taxes. The City Clerk shall publish notice of the deadline for the filing of written requests at least twice with the first publication not less than 21 days prior to the deadline
 3. Set a date, time, and location for the conduct of at least one public meeting to be held on or before May 31st to hear presentations and to review written requests. The City Clerk shall publish notice of the public meeting at least two weeks in advance of the first public meeting.
 4. On or before June 30th formalize its recommendations to the City Council for the appropriation of non-property taxes for funding written requests, which in the judgment of the LOT Commission are the best use of those funds [subject to a total amount as estimated by the City Clerk], in accordance with the purposes for the permitted use of those funds as set forth in Section 5 of this Chapter.
 5. The chairperson of the LOT commission shall attend the city's staff level budget meetings in a capacity equivalent to that of a department head when the annual budget is developed.

SECTION 8.

4.12.7: CITY CLERK TO ADMINISTER, REGULATE, AND COLLECT TAXES:

The City Clerk of the City of McCall is hereby authorized and empowered to administer, regulate, and collect payment of all nonproperty taxes adopted and imposed by this Chapter. Said Clerk shall have all of the powers set forth in this Chapter together with those additional powers necessary and proper to carry out the provisions of this Chapter.

SECTION 9.

4.12.8: CREATION OF PROPERTY TAX RELIEF FUND:

Pursuant to Idaho Code Section 50-1045, there is hereby created in the office of the City Clerk a fund to be designated as the "municipal property tax relief fund." Any revenues collected under this Chapter in excess of the amount budgeted by the City Council for the use of said revenues shall be placed by the City Clerk into the municipal property tax relief fund. Such excess revenues shall be used to replace city property taxes in the ensuing fiscal year by the amount of all excess revenues placed in said municipal property tax relief fund.

SECTION 10.

4.12.9: PERMITS REQUIRED AND ISSUANCE OF PERMITS:

- (A) Every person desiring to engage in or conduct the business of a hotel-motel rental or short term rental within this city shall file with the City Clerk an application for a City of McCall local option nonproperty tax permit for each place of business. A separate permit is required for each place of business within the city. Every application for said permit shall be made upon a form prescribed by the City Clerk and shall set forth the name under which the applicant transacts or intends to transact business, the location of the business or places of businesses, and such other information as the City may require. The application shall be signed by the owner, if they are a natural person; or in the case of an association or partnership, by a partner; in the case of a limited liability company, by a member; in the case of a corporation, by an executive officer or other person authorized by the corporation to sign the application.
- (B) Upon filing an application meeting the requirements set out in subsection (A) of this section, the City Clerk shall issue to each applicant a permit for each place of business. A permit shall not be assignable, and shall be valid only for the person in whose name it is issued and for the transaction of business at the place designated therein. It shall at all times be conspicuously displayed at the location for which it was issued. Issuance of a permit may be subject to additional requirements as set forth in this Chapter.
- (C) On the face of the permit shall be affixed a municipal nonproperty tax number which shall be used by the applicant as an identifying number on all filing, payment and correspondence with regard to the nonproperty tax imposed under this Chapter.

SECTION 11.

4.12.10: METHOD FOR PAYMENT OF TAXES:

- (A) The taxes imposed by this Chapter shall be computed and paid for each calendar month or quarterly, based on state requirement for submission. Said taxes are due and payable to the City Clerk on or before the twentieth day of the succeeding month. The amount of tax paid shall be computed on all sales subject to taxation under this Chapter. Each person required to hold a City of McCall local option nonproperty tax permit and number shall file a City of McCall local option nonproperty tax return and a copy of their Idaho state sales tax return for the month at the same time said taxes are paid to the City Clerk, unless said person has been permitted in writing by the Idaho state tax commission to file quarterly sales or use tax returns. Persons who have been permitted to file other than monthly returns shall notify the City Clerk in writing and the City Clerk thereupon may require reporting of state tax returns over some other period.
- (B) For monthly taxpayers the first payment of taxes under this Chapter shall be due and payable together on February 20, 2019, for payments for that period beginning January 1, 2019, and ending January 31, 2019. For quarterly taxpayers, the first payment of taxes under this chapter shall be due and payable together on April 20, 2019, for that period

beginning January 1, 2019 and ending March 31, 2019. Thereafter all payments shall be made monthly or quarterly, based on state requirement for submission.

- (C) A City of McCall local option nonproperty tax return shall be filed each and every month or quarter, based on state requirement for submission, by every person engaging in sales subject to taxation under this Chapter regardless of whether or not any tax is due. Returns shall be signed by the person required to file the return or by a duly authorized agent.
- (D) A valid sales tax exemption certificate issued by the Idaho state tax commission upon filing a copy thereof with the City Clerk shall have the same effect to exempt the sale from the taxes imposed hereunder as in the Idaho Sales Tax Act.

SECTION 12.

4.12.11: AUDITS; DEFICIENCY DETERMINATIONS:

- (A) The City Clerk may order an audit of any taxpayer under this Chapter for the purpose of ascertaining the correctness or completeness of any return or payment.
- (B) If any error or omission is discovered in such audits or in any other way, the City Clerk may compute and determine the amount of tax due upon the basis of facts obtained and assert a deficiency. One or more deficiency determinations may be made for the amount due for one or for more than one period. In making such a determination, the City Clerk may offset overpayments against amounts due. Further, said determinations shall be made for the period or periods in respect to which the person fails to make a return and shall be based upon any information which is in the City Clerk's possession.
- (C) The City Clerk shall give written notice of the determination and the amount of the deficiency, including interest, at the rate of twelve percent (12%) per annum from the date due, to the person from whom such deficiency amount is due. Such notice may be given personally or mailed to the person at the address furnished to the City Clerk in the nonproperty tax permit application.

SECTION 13.

4.12.12: REDETERMINATION OF DEFICIENCY:

- (A) Any person against whom a deficiency determination is made under this Chapter, or any person directly interested, may petition in writing for a redetermination within thirty (30) days after service upon the person of notice thereof. If the petition for redetermination is not filed within the thirty (30) day period, the determination becomes final at the expiration of the period.
- (B) If a petition for redetermination is filed within the thirty (30) day period, the City Clerk shall reconsider the determination and, if the person so requests in the petition, grant the person an oral hearing and give said person ten (10) days' notice of the time and place of

the hearing personally or by mail addressed to the person at the address furnished to the City Clerk in said person's application for a nonproperty tax permit.

SECTION 14.

4.12.13: APPEALS, INTEREST ON DEFICIENCY:

- (A) When a re-determination is made, the City Clerk shall give notice to the taxpayer. Within thirty (30) days of the date upon which such notice of re-determination is mailed or served, the taxpayer may file an appeal with the City Council or may file a complaint with the district court for review of the City Clerk's re-determination. There shall be no right of review by the City Council nor by the district court on the determination of taxes due made by the City Clerk unless a petition for re-determination has been timely filed. No assessment of a deficiency in respect to the tax imposed by this Chapter or proceeding to collect for its collection shall be made, begun or prosecuted until such notice of re-determination has been mailed to the taxpayer and expiration of such thirty (30) day period after notice of re-determination, nor, if an appeal is filed, until a decision on the appeal becomes final. If the taxpayer does not appeal to the City Council or file an action in district court within the time prescribed in this section, the deficiency shall be assessed and shall become due and payable upon notice and demand from the City Clerk.
- (B) Interest upon any deficiency shall be assessed at the same time as the deficiency and shall become due and payable upon notice and demand from the City Clerk and shall be collected as part of the tax at the rate of twelve percent (12%) per annum from the date prescribed for payment of the tax.

SECTION 15.

4.12.14: COLLECTIONS AND ENFORCEMENT:

As soon as practical after each monthly or quarterly (based on state requirement for submission) City of McCall local option nonproperty tax return and payment is filed, the City Clerk shall examine the same and determine the correct amount of the tax. For the purpose of ascertaining the correctness of any payment determining the amount of tax due where none has been made, determining liability of any person for any tax payable under this Chapter, or the liability at law or in equity of any person in respect to any tax provided by this Chapter or collecting any such liability, the City Clerk, or duly authorized deputy, is authorized: a) to examine the books, papers, records, or other data which may be relevant or material to the inquiry; b) to summon the person liable for the tax or any officer, agent or employee of such person, or any person having possession, custody or care of books of accounting containing entries relating to the business of the person liable for the tax, to appear before the City Clerk, or deputy, at a time and place named in its summons to produce such books, papers, records or other data and/or give such testimony under oath as may be relevant or material to such inquiry.

SECTION 16.

4.12.15: REFUNDS, LIMITATIONS, AND INTEREST:

- (A) If the City Clerk determines that any amount due under this Chapter has been paid more than once or has been erroneously or illegally collected or computed, the City Clerk shall set forth that fact in the records and the excess amount paid or collected may be credited on any amount due or payable to the City Clerk for nonproperty taxes from that person, and any balance refunded to the person by whom it was paid or to his successors, administrators or executors.
- (B) No such credit or refund shall be allowed or made after one year from the time the payment was made unless, before the expiration of such period, a claim therefore is filed by the taxpayer.
- (C) If the City does not issue a credit or refund within thirty (30) days after the error is discovered by the City or a written request for credit or refund is made by the taxpayer, then interest shall be allowed on the amount of such credits or refunds at the rate of twelve percent (12%) per annum from the date that such tax was paid.
- (D) Appeal from the City Clerk's decision denying in part or in whole a claim for refund shall be made in accordance with the laws of the State of Idaho with regard to claims against municipalities.

SECTION 17.

4.12.16: RESPONSIBILITY FOR PAYMENT OF TAXES:

Every person with a duty to account for or pay over any tax imposed by this Chapter on behalf of a corporation, as an officer employee of the corporation, or on behalf of a partnership, as a partner or employee of the partnership, or on behalf of a limited liability company, as a member or employee of the same, shall be personally liable for payment of such tax, plus penalties and interest.

SECTION 18.

4.12.17: PERIOD OF LIMITATION UPON ASSESSMENT AND COLLECTION:

- (A) The amount of taxes imposed under this Chapter shall be assessed within three (3) years of the time the return upon which the tax asserted to be due was or should have been filed, whichever is later; provided, however, if a deficiency determination or assessment has been made within the prescribed time, such tax may be collected within a period of six (6) years after assessment. The running of limitations provided by this section shall be suspended for the period during which the City Clerk is prohibited from making the assessment or from collecting or proceeding in court due to a petition for re-determination or an appeal therefrom, and for thirty (30) days thereafter.
- (B) In the case of taxes due during the lifetime of a decedent, the tax shall be assessed, and any proceeding in court without assessment for the collection of such tax shall be begun, within six (6) months after written request therefore (filed after the return is made) by the executor, administrator, or other fiduciary representing the estate of such decedent unless the assessment is stayed by a petition for redetermination or any appeal therefrom.

- (C) In the case of a false or fraudulent return with intent to evade tax, or of a failure to file a return, the tax may be assessed, or a proceeding in court for collection of such tax may be begun without assessment, at any time within three (3) years after the date of the discovery of the facts constituting the fraud.

SECTION 19.

4.12.18: SUCCESSORS' LIABILITY:

- (A) If a vendor liable for any amount of tax under this Chapter sells out his business, the vendee shall make an inquiry to the City Clerk and withhold from the purchase price any amount of tax that may be due under this Chapter until such time as the vendor produces receipt stating that no amount is due.
- (B) If the purchaser of a business fails to withhold from the purchase price as above required, the purchaser is personally liable for the payment of the amount required to be withheld by them.

SECTION 20.

4.12.19: GENERAL ADMINISTRATION BY CITY CLERK:

- (A) The City Clerk shall enforce the provisions of this Chapter and may prescribe, adopt and enforce rules and regulations relating to its administration and enforcement. The City Clerk may employ qualified auditors for examination of taxpayers' books and records, and shall also employ such accountants, investigators, assistants, clerks, and other personnel as are necessary for the efficient administration of this Chapter, and may delegate authority to other representatives to conduct hearings, or perform other duties imposed by this Chapter.
- (B) Taxpayers in the City of McCall shall keep such records, receipts, invoices, and other pertinent papers as the City Clerk may require. Each such taxpayer who files tax payments required under this Chapter shall keep all such records for not less than four (4) years after making such payments unless the City Clerk in writing authorizes their destruction.
- (C) The City Clerk, or any person authorized in writing by the clerk, may examine the books, papers, records, and equipment of any taxpayer or any person liable for any tax, and may investigate the character of the business of the person in order to verify the accuracy of any return made, or if no return is made by the person, to ascertain and determine the amount required to be paid. Any taxpayer whose pertinent records are kept outside of the city must bring the records to the city for examination by the City Clerk upon request of the latter, or by agreement with the City Clerk permit an auditor designated by the City Clerk to visit the place where the records are kept, and there audit such records.

SECTION 21.

4.12.20: PENALTIES:

- (A) Any person who violates any provision of this Chapter shall be guilty of a misdemeanor, punishable by up to one year in the county jail, and/or three hundred dollar (\$300.00) fine, or both. Furthermore, each month in which a person fails to report, or intentionally fails to compute accurately, or intentionally fails to disclose accurately the total amount of sales or rentals or the amount of tax to be paid, as imposed under this Chapter, shall be considered a separate offense.
- (B) Any person who violates any provision of this Chapter shall have his City of McCall local option nonproperty tax permit and tax number revoked. The City Clerk shall send written notice of revocation of said permit and tax number to the permit holder by mailing the same by certified mail to the address given on the permit application. The permit holder shall have ten (10) days from the date said notice is mailed to file a written request of appeal with the City Council, challenging said revocation. If no appeal is timely made, said revocation becomes final. Whenever a person subject to this Chapter has had said permit and tax number revoked, the City Clerk shall not reissue said permit nor issue a new permit to said person until said person places with the City Clerk a bond or other sufficient security in the amount equal to three (3) times the actual, determined, or estimated average monthly amount of tax payable by such person pursuant to this Chapter. If such person continues to do business after the City permit is revoked, the City may apply to the District Court for the Fourth Judicial District for a temporary restraining order and/or injunction seeking to restrict the business of such person until that person complies with the provisions of this ordinance.
- (C) The City Clerk, whenever it is deemed necessary to ensure compliance with this Chapter, may require any person subject to this Chapter to place with her such security as she may determine. The amount of said security shall not be greater than three (3) times the estimated average monthly amount payable by such persons pursuant to this Chapter. The amount of the security may be increased or decreased by the City Clerk at any time, subject to the limitations set forth above.
- (D) Any amount of tax due under this Chapter for which a person fails to report or accurately compute shall become a lien upon the property of said taxpayer on the date that the same becomes due, and the City may seek to enforce said lien and collect all taxes and interest due, together with the reasonable costs of collection, including attorney fees, in a court of competent jurisdiction.
- (E) For the purposes of proper administration of this Chapter, and to prevent evasion of said local option nonproperty taxes, the burden of proving that an alleged rental is not a rental under this Chapter is upon the person who operates the rental in question.

SECTION 22.

4.12.21: PENALTY CHARGES:

- (A) Any person who is required to collect and pay over any tax imposed by this Chapter and fails or refuses to pay over to the City the same when due in accordance with Section 4.12.10 of this Chapter shall be liable and pay a penalty charge equal to five percent (5%) of the tax not paid, or a minimum of ten dollars (\$10.00) (whichever is greater). The City Clerk shall assess and collect said fee at the time any delinquent tax payment is tendered. The permit holder shall have ten (10) days from the date payment is made to file a written appeal with the City Council challenging said penalty determination. If no appeal is timely made as herein provided, said penalty determination shall be final. If payment and penalties are not paid within the ten (10) days then the permit holder will be in violation and the Clerk shall assess penalties pursuant to McCall City Code 4.1.3.
- (B) Any person who is required to collect, truthfully account for, and pay over any tax imposed by this Chapter and who willfully fails to collect such a tax or truthfully account for or pay over such a tax, or willfully attempts in any manner to evade or defeat such a tax or payment thereof, shall, in addition to other penalties provided by law, be liable to a penalty equal to the amount of the tax evaded, or not collected, or not accounted for or paid over. The City Clerk shall determine and assess such penalties, and the same shall become due and payable upon notice and demand from the City Clerk. The City Clerk shall send written notice of such penalty charge to the permit holder by mailing the same by certified mail to the address given on the permit application. The permit holder shall have ten (10) days from the date said notice is mailed to file a written request of appeal with the City Council challenging said penalty charge determination. If no appeal is timely made as herein provided, said penalty charge determination shall be final.

SECTION 23.

4.12.22: EXEMPTIONS:

Only those transactions which are exempted from the taxes imposed by the state of Idaho pursuant to the sales tax act, as that act may be amended, are also exempt from the provisions of this Chapter.

SECTION 24.

4.12.23: CONFIDENTIALITY OF INFORMATION:

- (A) No City Clerk of the City of McCall, Valley County, Idaho, nor any duly authorized deputy City Clerk, agent or employee shall divulge or make known to any persons, in any manner, any information whatsoever submitted or obtained, directly or indirectly, pursuant to this Chapter, or to permit any nonproperty tax return or information supplied with regard thereto, or any copy thereof, or any paper or book so obtained, to be seen or examined by any person except as provided by law; provided, that in any action or proceeding brought for the collection, remission, cancellation, or refund of the whole or any part of a tax imposed under this Chapter, or for enforcing the penalties prescribed for making false or fraudulent returns, any and all information contained in or provided with said returns may be made accessible to the elected and appointed officials, officers, and representatives of said City charged with enforcing or defending the same, all such

returns, information, statements and correspondence relating thereto may be produced into evidence in any action, civil or criminal, directly pertaining to such returns or the tax imposed on the basis of such returns.

- (B) The McCall City Council, under such rules and provisions as it may prescribe, may permit, notwithstanding the provisions of this Chapter as to secrecy, the commission of internal revenue of the United States or its delegate or the proper officer of any state imposing a tax to inspect the nonproperty tax returns or information provided or obtained in connection therewith, or may furnish to such officer, or his authorized agent, copies or an abstract thereof.
- (C) Nothing in this Chapter shall prohibit a taxpayer, or authorized representative upon proper identification, from inspecting and copying his own nonproperty tax returns and information supplied therewith.

SECTION 25.

SEVERABILITY: It is hereby declared to be the legislative intent that the provisions, and parts thereof, of this Ordinance shall be severable. Should any section, subsection, paragraph, clause or phrase of this Ordinance, or any particular application thereof, be declared invalid or unconstitutional for any reason by a Court of competent jurisdiction, such decision shall not affect the remaining portions of said section, subsection, paragraph, clause, or phrase of this Ordinance.

SECTION 26.

REPEALER CLAUSE: On the effective date hereof, all Ordinances or parts thereof in conflict herewith are hereby repealed.

SECTION 27.

EFFECTIVE DATE: This Ordinance shall be in full force and effect on January 1, 2019, after voter approval, passage by City Council and Mayor, and publication according to law prior to December 31, 2018.

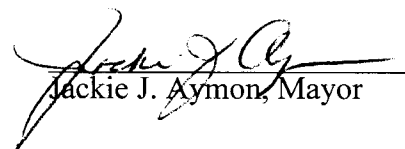
PASSED AND APPROVED BY THE MAYOR AND COUNCIL OF THE CITY OF McCALL, IDAHO, THIS 8 DAY OF MARCH, 2018.

APPROVED:

ATTEST:


Bessie Jo Wagner, City Clerk




Jackie J. Aymon, Mayor

CITY OF McCALL
OCCUPANCY TAX SCHEDULE BRACKET SYSTEM 3% RATE

Effective Date January 1, 2019

sales price		tax due	sales price		tax due	sales price		tax due
0.01	- 0.16	0.00	19.50	- 19.83	0.59	39.17	- 39.49	1.18
0.17	- 0.49	0.01	19.84	- 20.16	0.60	39.50	- 39.83	1.19
0.50	- 0.83	0.02	20.17	- 20.49	0.61	39.84	- 40.16	1.20
0.84	- 1.16	0.03	20.50	- 20.83	0.62	40.17	- 40.49	1.21
1.17	- 1.49	0.04	20.84	- 21.16	0.63	40.50	- 40.83	1.22
1.50	- 1.83	0.05	21.17	- 21.49	0.64	40.84	- 41.16	1.23
1.84	- 2.16	0.06	21.50	- 21.83	0.65	41.17	- 41.49	1.24
2.17	- 2.50	0.07	21.84	- 22.16	0.66	41.50	- 41.83	1.25
2.51	- 2.83	0.08	22.17	- 22.49	0.67	41.84	- 42.16	1.26
2.84	- 3.16	0.09	22.50	- 22.83	0.68	42.17	- 42.49	1.27
3.17	- 3.50	0.10	22.84	- 23.16	0.69	42.50	- 42.83	1.28
3.51	- 3.83	0.11	23.17	- 23.49	0.70	42.84	- 43.16	1.29
3.84	- 4.16	0.12	23.50	- 23.83	0.71	43.17	- 43.49	1.30
4.17	- 4.50	0.13	23.84	- 24.16	0.72	43.50	- 43.83	1.31
4.51	- 4.83	0.14	24.17	- 24.49	0.73	43.84	- 44.16	1.32
4.84	- 5.16	0.15	24.50	- 24.83	0.74	44.17	- 44.50	1.33
5.17	- 5.50	0.16	24.84	- 25.16	0.75	44.51	- 44.83	1.34
5.51	- 5.83	0.17	25.17	- 25.49	0.76	44.84	- 45.16	1.35
5.84	- 6.16	0.18	25.50	- 25.83	0.77	45.17	- 45.50	1.36
6.17	- 6.50	0.19	25.84	- 26.16	0.78	45.51	- 45.83	1.37
6.51	- 6.83	0.20	26.17	- 26.49	0.79	45.84	- 46.16	1.38
6.84	- 7.16	0.21	26.50	- 26.83	0.80	46.17	- 46.50	1.39
7.17	- 7.50	0.22	26.84	- 27.16	0.81	46.51	- 46.83	1.40
7.51	- 7.83	0.23	27.17	- 27.49	0.82	46.84	- 47.16	1.41
7.84	- 8.16	0.24	27.50	- 27.83	0.83	47.17	- 47.50	1.42
8.17	- 8.50	0.25	27.84	- 28.16	0.84	47.51	- 47.83	1.43
8.51	- 8.83	0.26	28.17	- 28.49	0.85	47.84	- 48.16	1.44
8.84	- 9.16	0.27	28.50	- 28.83	0.86	48.17	- 48.50	1.45
9.17	- 9.50	0.28	28.84	- 29.16	0.87	48.51	- 48.83	1.46
9.51	- 9.83	0.29	29.17	- 29.49	0.88	48.84	- 49.16	1.47
9.84	- 10.16	0.30	29.50	- 29.83	0.89	49.17	- 49.50	1.48
10.17	- 10.50	0.31	29.84	- 30.16	0.90	49.51	- 49.83	1.49
10.51	- 10.83	0.32	30.17	- 30.49	0.91	49.84	- 50.16	1.50
10.84	- 11.16	0.33	30.50	- 30.83	0.92	50.17	- 50.50	1.51
11.17	- 11.50	0.34	30.84	- 31.16	0.93	50.51	- 50.83	1.52
11.51	- 11.83	0.35	31.17	- 31.49	0.94	50.84	- 51.16	1.53
11.84	- 12.16	0.36	31.50	- 31.83	0.95	51.17	- 51.50	1.54
12.17	- 12.50	0.37	31.84	- 32.16	0.96	51.51	- 51.83	1.55
12.51	- 12.83	0.38	32.17	- 32.49	0.97	51.84	- 52.16	1.56
12.84	- 13.16	0.39	32.50	- 32.83	0.98	52.17	- 52.50	1.57
13.17	- 13.50	0.40	32.84	- 33.16	0.99	52.51	- 52.83	1.58
13.51	- 13.83	0.41	33.17	- 33.49	1.00	52.84	- 53.16	1.59
13.84	- 14.16	0.42	33.50	- 33.83	1.01	53.17	- 53.50	1.60
14.17	- 14.50	0.43	33.84	- 34.16	1.02	53.51	- 53.83	1.61
14.51	- 14.83	0.44	34.17	- 34.49	1.03	53.84	- 54.16	1.62
14.84	- 15.16	0.45	34.50	- 34.83	1.04	54.17	- 54.50	1.63
15.17	- 15.50	0.46	34.84	- 35.16	1.05			
15.51	- 15.83	0.47	35.17	- 35.49	1.06			
15.84	- 16.16	0.48	35.50	- 35.83	1.07			
16.17	- 16.50	0.49	35.84	- 36.16	1.08			
16.51	- 16.83	0.50	36.17	- 36.49	1.09			
16.84	- 17.16	0.51	36.50	- 36.83	1.10			
17.17	- 17.50	0.52	36.84	- 37.16	1.11			
17.51	- 17.83	0.53	37.17	- 37.49	1.12			
17.84	- 18.16	0.54	37.50	- 37.83	1.13			
18.17	- 18.49	0.55	37.84	- 38.16	1.14			
18.50	- 18.83	0.56	38.17	- 38.49	1.15			
18.84	- 19.16	0.57	38.50	- 38.83	1.16			
19.17	- 19.49	0.58	38.84	- 39.16	1.17			

Example:

Sale	Tax Due
\$60.00	\$1.80
\$80.00	\$2.40
\$100.00	\$3.00
\$120.00	\$3.60

Sale is \$85.95
tax on 80.00 is 80 x .03 = 2.40
tax on 5.95 = 0.18 (from char)
total tax is 2.40 + 0.18 = \$2.58



City of McCall

CITY CLERK

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7142

Fax 208-634-3038

8/01/2023

Dear Treasure Valley Transit, Inc.:

Your organization has been chosen to receive Local Option Tax (LOT) funds for Fiscal Year 2024.

The LOT Commission and City Council have allotted \$108,630 specifically for LOT Application #24-01 for Rural Grant Funding Match, as outlined in the submitted application. Provided the City receives the estimated LOT funds, your allocation of \$108,630 should be awarded on or around June 2024. **Please understand that funding of your project is based entirely on funds being received from the Lodging Local Option Tax. Should funds not be available, your project will not be funded.**

Enclosed is a copy of the approved funding summary for FY2024. This summary shows the priority order of funding for FY24 Lodging LOT funds. There will be no reductions in project funding amounts. Funding will be provided in the order shown on the spreadsheet. As Lodging LOT funds are received, the next project on the list will be funded. **If your project is at the bottom of the list, especially in the Contingency section, it is possible that funding will not be available.**

Future correspondence from the City of McCall will be sent only to the email address currently on file terri@treasurevalleytransit.com. If you prefer notification by another means, please let us know. Otherwise, be sure to keep us advised if your email address changes.

You will be notified via email when your funds are available.

The City of McCall and the Local Option Tax Commission congratulate you on being chosen as a recipient for Local Option Tax funds and look forward to a successful year.

Best regards,

Amanda Payne | Local Option Tax Administrator
208-634-8929 | apayne@mccall.id.us

LOCAL OPTION TAX FUNDS AGREEMENT

THIS LOCAL OPTION TAX FUNDS AGREEMENT (the "Agreement") is dated as of **Date Approved to pay** and is entered into between _____ ("Recipient"), and the City of McCall, Valley County, Idaho, a municipal corporation existing under the laws of the State of Idaho (the "City").

WITNESSETH:

WHEREAS, the City is a municipal corporation duly organized and operating under the laws of the State of Idaho and is authorized to enter into contracts as provided for in Section 50-301, Idaho Code; and

WHEREAS, the City held an election on May 15, 2018, on whether the City should adopt, implement and collect local-option non-property taxes under Sections 50-1044 to 50-1049, inclusive, Idaho Code, as amended; and

WHEREAS, more than a sixty percent (60%) majority of the qualified electors of the City voting at the election voted in favor of authorizing the City to adopt, implement and collect local-option non-property taxes, which votes were duly canvassed as provided in Resolution No. 18-11, adopted on June 14, 2018; and

WHEREAS, Ordinance No. 965, adopted on March 8, 2018, pursuant to the provisions of Sections 50-1046 to 50-1047, Idaho Code, as amended, took effect immediately upon the canvass of the returns of the May 15, 2018, election. Ordinance No. 965 provides for the collection of an additional three percent (3%) occupancy tax on the Hotel-Motel Occupancy Charge from all Hotel-Motel Rentals as defined in Ordinance No. 965, which monies shall be held in trust for the City and for payment thereof to the City Clerk in the manner and at the times provided in the Ordinance. The Ordinance further provides for an independent Local Option Tax Commission, appointed by the City Council, whose responsibility it shall be to develop annual budgets and make specific recommendations for the use of the revenues derived from said taxes, in accordance with the uses approved in the Ordinance. Ordinance No. 965 sets forth the following purposes for which the local-option non-property tax revenue derived from and collected under the Ordinance shall be used:

- A. Streets, sidewalks and pathways, public transit, pedestrian crosswalks, and public transportation
- B. Construction and maintenance of cultural and recreational facilities
- C. Services for community recreational and cultural activities
- D. Public parks maintenance, development, and beautification
- E. Shelter and or spay and/ or neuter of stray animals found in the City
- F. Local housing program as recommended in the McCall Housing Strategy
- G. Services for McCall marketing, advertising, tourism development, and event promotion.
- H. Mitigate the effects of tourism on the city that the general fund cannot accommodate

WHEREAS, the Local Option Tax Commission has been appointed in accordance with Ordinance No. 965 and has made recommendations to the City Council regarding distributions of the Local Option Tax revenues in accordance with Ordinance No. 965; and

WHEREAS, the City Council has considered the recommendation of the Local Option Tax Commission and desires to distribute revenues in accordance with the terms of this Agreement;

NOW, THEREFORE, the parties hereby agree as follows:

1. Use of Local Option Tax Funds.

The City shall remit to Recipient the sum of **\$00.00** (the “Funds”), for _____ (the “Project”) under the following terms and conditions:

1.1. Covenants of Recipient. Recipient represents, covenants, and warrants for the benefit of the City, as follows:

1.1.1 The Recipient shall only use the Funds for the “Project” as described in the Application which is attached hereto as **Exhibit A** and by this reference incorporated herein. The Recipient acknowledges and agrees that it is not authorized to use the Funds for any other purpose. The City may, at any time, conduct an audit of the Recipient’s expenditure of Funds on the Project to ensure that the Funds are being used in accordance with this Agreement.

1.1.2 If the Recipient dissolves or ceases operations within five (5) years after receiving funds that are used to purchase tangible personal property, then prior to or at dissolution or the cessation of operations, such tangible personal property shall be tendered to the City. The City is not obligated to accept such property and may use its discretion whether to receive the property or otherwise direct its distribution.

1.1.3 The Recipient shall complete the Project on or before **(Date will reflect 1 year from receipt of funds)** and shall prepare and submit a report to the City specifically describing the Project, the timeline for construction of the Project, a full accounting of the expenditure of Funds on the Project and refund all unexpended Funds to the City within 30 days of the completion of the project.

1.1.4 The Recipient shall provide the City with such current financial statements, budgets, proof of expenditure of the Funds for the authorized purpose, and any other financial information requested by the City.

1.1.5 The Recipient is a **(Type of Organization is filled in here)** Type of Organization duly organized and existing under the laws of the State of Idaho with full power and authority to enter into this Agreement and the transaction contemplated hereby and to perform all of its obligations hereunder.

1.1.6 The Recipient has been duly authorized to execute and deliver this Agreement by proper action by its governing body or members, or by other appropriate official approval, and all requirements have been met and procedures have occurred in order to ensure the

validity and enforceability of this Agreement.

2. Release and Indemnification. To the extent permitted by the law, the Recipient shall indemnify, protect, hold harmless, save and keep harmless the City from and against any and all liability, obligation, loss, claim and damage whatsoever, regardless of cause thereof, and all expenses in connection therewith, including, without limitation, counsel fees and expenses, penalties and interest arising out of or as the result of Recipient's Project.

3. Default.

3.1. Default and Remedies. If Recipient defaults or otherwise fails to comply with any part of this Agreement, Recipient shall immediately repay all Funds to the City and Recipient shall no longer be eligible to receive Local Option Tax Funds from the City. The City may further take any action, at law or in equity, that is permitted by applicable law and that may appear necessary or desirable to enforce or to protect any of its rights under this Agreement.

3.2. No Remedy Exclusive. No remedy herein conferred upon or reserved to the City is intended to be exclusive and every such remedy shall be cumulative and shall be in addition to every other remedy given under this Agreement now or hereafter existing at law or in equity. No delay or omission to exercise any right or power accruing upon any default shall impair any such right or power or shall be construed to be a waiver thereof, but any such right or power may be exercised from time to time and as often as may be deemed expedient.

3.3. Costs and Attorney Fees. Upon default in Recipient's performance of any term of this Agreement, Recipient agrees to pay and reimburse the City, in addition to all other amounts due hereunder, all of the City's costs of collection, including reasonable attorney fees, whether or not suit or action is filed thereon. Any such costs shall be immediately due and payable upon written notice and demand given to the Recipient, shall be secured by this Agreement until paid and shall bear interest at the rate permitted by law. In the event suit or action is instituted to enforce any of the terms of this Agreement, the prevailing party shall be entitled to recover from the other party such sum as the court may adjudge reasonable as attorneys' fees at trial or on appeal of such suit or action or in any Bankruptcy proceeding, in addition to all other sums provided by law.

4. Notices. All notices, reports or other communications hereunder shall be sufficiently given and shall be deemed given when delivered or mailed by registered mail, postage prepaid, to the parties hereto at the addresses immediately after the signatures to this Agreement (or at such other address as either party hereto shall designate in writing to the other for notices to such party), to any assignee at its address as it appears on the registration books maintained by the City.

5. Binding Effect. This Agreement shall inure to the benefit of and shall be binding upon the parties and their respective successors and assigns.

6. Severability. In the event any provision of this Agreement shall be held invalid or unenforceable by any court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provision hereof.

7. Applicable Law. This Agreement shall be governed by and construed in accordance with the

laws of the State of Idaho.

8. Captions. The captions or headings in this Agreement are for convenience only and in no way define, limit or describe the scope or intent of any provisions or sections of this Agreement.

9. Mediation. Prior to filing any complaint in any court asserting a violation of, or cause of action arising under, this Agreement, the parties agree to meet and confer regarding the same, and, if still unable to resolve the dispute, to submit to non-binding mediation in an attempt to resolve the dispute.

10. IN WITNESS WHEREOF, the City and Recipient have caused this Agreement to be executed in their names by their duly authorized representatives as of the date first above written.

RECIPIENT:

Name of Organization receiving funds

By: _____
Authorized Officer (Signature)

Authorized Officer (Printed Name)

Address: _____

McCall, ID 83638

THE CITY:
CITY OF MCCALL, VALLEY COUNTY, IDAHO

By: _____
_____, Mayor

ATTEST:

By: _____
BessieJo Wagner, City Clerk

Address: City Hall
216 East Park Street
McCall, ID 83638

City Council Upcoming Meetings Schedule

December 1, 2023 – 9:00 – 11:30 p.m. TEAMS Virtual and TBD – Special Work Session
(Anette out)

1. *Revenue Bond Presentation by Bond Counsel (Linda)*
2. *Water Plan/bond update (Nathan)*
3. *Library Tour*

December 7, 2023 – 5:30 pm, TEAMS Virtual and Legion Hall – Special Meeting Tentative

- 1.

December 14, 2023, - 5:30 pm, TEAMS Virtual and Legion Hall – Regular Meeting

1. *Clerk License Report - Consent*
2. *Chamber Report 5min*
3. *Monthly Department Reports 5min*
4. *Committee Minutes - Consent*
5. *Resolution Adopting 2024 Council Meeting Schedule (BessieJo) 5min*
6. *Purchasing Policy update (Linda) 10min*
7. *Tree City USA and Growth Award Re-Certification Application (Kurt) 5min*
8. *Annual Street Report Approval (Linda) consent*
9. *Library Contract Approval – Purchase Furnishings (Nathan & Meg?) 5min*
10. *Golf Clubhouse Lift Station repair/upgrade (Eric) 5min*
11. *GCAC Appointments – Men’s and Women’s club Reps (Eric) 5min*
12. *Golf Course tractor lease (Eric) 5min*
13. *Museum Lease Renewal (Kurt)?10min*
14. *CIMBA Donation Agreement (Kurt)10min*
15. *Hangar 563 – Jorgensen Lease Termination/Jahn New Lease (Emily) consent*

December 28, 2023 - 5:30 pm, TEAMS Virtual and Legion Hall – Regular Meeting

1. *Clerk License Report - Consent*
2. *Treasurer’s Monthly Report (Linda) – Consent*
3. *Parks & Recreation Advisory Committee Annual Report (Kurt)*
4. *ADA Transition Plan Annual Report (BessieJo)*
5. *Transportation Alternatives Program grant application approval (Delta)*
6. *Southeast McCall Buildout Transportation (Morgan/Nathan)*
7. *Consultant Roster Addition(s) (Morgan/Nathan)*
8. *Downtown Core PH-3B Contract Award/Rejection (Nathan/Morgan)*
9. *Appeal of AA-23-12 – PUBLIC HEARING – (Brian) – 30 Min*
- 10.

December 29, 2023 – 9:00 – 11:00 p.m. TEAMS Virtual and TBD – Special Work Session

1. *Transportation/Land Use Work Session (Brian/Morgan)*
2. *Update to the Transportation Master Plan (Morgan/Nathan)*

THE FOLLOWING DATES FOR 2024 ARE TENTATIVE AND WILL NOT BE FINAL UNTIL AFTER THE December 14th Council Meeting

January 4, 2024 – 5:30 pm, TEAMS Virtual and Legion Hall – Special Meeting Tentative

- 1.

January 11, 2024, - 5:30 pm, TEAMS Virtual and Legion Hall – Regular Meeting

1. *Council Oaths of Office (BessieJo) 5min*
2. *Mayor Selection (BessieJo) 5min*
3. *Council President Selection (BessieJo) 5min*
4. *Council Liaisons (BessieJo) 5min*
5. *Contract Signatories (BessieJo) 5min*
6. *Bank Master Services Agreement (BessieJo) 5min*
7. *FY24 LOT Contract approvals - Consent*
8. *Clerk License Report - Consent*
9. *Chamber Report 5min*
10. *Council Report 5min*
11. *County Commissioner's Report 5min*
12. *Monthly Department Reports 5min*
13. *Committee Minutes - Consent*
14. *Harris CPAs Engagement Letter (Linda) Consent*
15. *CUP-23-07 – Mile High Marina Expansion – PUBLIC HEARING – (Brian) – 60 Min*

January 25, 2024 - 5:30 pm, TEAMS Virtual and Legion Hall – Regular Meeting

1. *Clerk License Report - Consent*
2. *Treasurer's Monthly Report (Linda) – Consent*
3. *Airport Advisory Committee Annual Report (Emily)*
4. *Winter Carnival (BessieJo)*
5. *Appeal of FPDP-23-01 – PUBLIC HEARING – (Brian) – 60 Min*
6. *Airport Hangars RFP (Emily) 10 min*

**January 26, 2024 – 9:00 a.m. – 4:00 p.m. TEAMS Virtual and TBD – Special Work Session
COUNCIL RETREAT**

1. *Governance Manual Review (BessieJo)*
2. *McCall Reflections 2023 Annual Report/State of the City (Erin & Anette)*
3. *Council/Community Engagement Initiatives for 2024*
4. *Review of Major Projects/Implementation of Adopted Plans for 2024*
5. *Lunch Break with Executive Leadership Team*
6. *New Employee introductions*
7. *Council Priority Setting for 2024*
 - a. *FY25 LOT Funding Priorities*

February 1, 2024 – 5:30 pm, TEAMS Virtual and Legion Hall – Special Meeting Tentative

- 1.

February 8, 2024, - 5:30 pm, TEAMS Virtual and Legion Hall – Regular Meeting

1. *Clerk License Report - Consent*
2. *Chamber Report 5min*
3. *Council Report 5min*
4. *County Commissioner's Report 5min*
5. *Monthly Department Reports 5min*
6. *Committee Minutes - Consent*

February 22, 2024 - 5:30 pm, TEAMS Virtual and Legion Hall – Regular Meeting

1. *Clerk License Report - Consent*
2. *Treasurer's Monthly Report (Linda) – Consent*

3. *Golf Advisory Committee Annual Report (Eric)*
4. *Idaho Day Proclamation March, 2024- Start promotion in February (BessieJo)*
5. *Proclamation - Read Across America Day March (BessieJo)*

February 23, 2024 – 9:00 a.m. – 11:00 a.m. TEAMS Virtual and Legion Hall – Special Work Session

1.

To be Scheduled:

1. *MCC Title 6 Re-write (Nathan Stewart)*
2. *Joint with County STR Discussion **1hr***
3. *Impact Fee Study Request for Proposal? (Michelle)*
4. *Council / LOT Commission Work Session – FY25 LOT Priorities? (February)*
5. *Audit Report (Linda) March*
6. *Parking code update (Dallas)*
7. *ADA Citizen Committee Organization (BessieJo)*
8. *RAPID Joint Powers Board Appointment (Chris)**5min***

